

Certificate number: 1781573S_02

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 72.5 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Thermal Performance and Materials commitments			
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓
Construction	Area - m²	Insulation	
floor - concrete slab on ground, waffle pod slab.	128.1	none	
floor - suspended floor above open subfloor, particle board, frame: light steel frame.	21.8	not specified	
floor - above habitable rooms or mezzanine, particle board, frame: light steel frame.	147.1	not specified	
floor - suspended floor above garage, particle board, frame: light steel frame.	26.6	not specified	
garage floor - concrete slab on ground, waffle pod slab.	33.8	none	
external wall: brick veneer, frame: light steel frame.	all external walls	fibreglass batts or roll+ foilsarking	
external garage wall: brick veneer, frame: light steel frame.	22.6	none	
external garage wall: cavity brick, frame: no frame.	4.3	none	
internal wall: plasterboard, frame: light steel frame.	211	none	
ceiling and roof - flat ceiling / pitched roof, framed - concrete tiles, timber - H2 treated softwood.	286	ceiling: fibreglass batts or roll; roof: foilsarking.	
Glazing			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓
Frames	Maximum area - m²		
aluminium	66.8		
timber	0		
uPVC	0		
steel	0		
composite	0		
Glazing	Maximum area - m²		
single	29.2		
double	37.6		
triple	0		
Energy Commitments			
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted, Energy rating: 3 star (average zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted, Energy rating: 3 star (average zone)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted, Energy rating: 3.5 star (average zone)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted, Energy rating: 3.5 star (average zone)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof, Operation control: please select		✓	✓
Kitchen: individual fan, ducted to façade or roof, Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry, Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	✓
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	✓



CHN - CONSTRUCTION DETAILS

CDN 09.000 - Scaffold Details	CDN 18.000 - Concrete Details
CDN 21.000 - Framing Details	CDN 24.000 - Door & Window Details
CDN 27.000 - Steel Details	CDN 30.000 - Brickwork Details
CDN 32.000 - Balcony Details	CDN 33.000 - Plumbing, Fascia & Gutter Details
CDN 35.000 - Hebel Details	CDN 36.000 - External Cladding Details
CDN 48.000 - Internal Fixout Details	CDN 54.000 - Tiling & Wet Area Details

AREAS	
SITE:	581.20 m ²
GROUND FLOOR:	148.06 m ²
FIRST FLOOR:	191.07 m ²
GARAGE:	37.13 m ²
PORCH:	10.81 m ²
BALCONY:	8.59 m ²
ALFRESCO:	56.57 m ²
	m ²
TOTAL:	452.23 m ²

CHN - FACADE DETAILS

SHEET	DESCRIPTION
2.6	STREETSCAPE ELEVATION
2.5	ELEVATION SHADOWS
2.4	JUN SHADOW DIAGRAM
2.3	NEIGHBOUR NOTIFICATION PLAN
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
12	SLAB PLAN
11	WET AREA DETAILS
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET

QUOTE	DATE	QUOTE NUMBER	REV	REV	DATE	AMENDMENTS	BY
KITCHEN			-				
ZURCORP ELECTRICAL			-				
TILES			-				
CARPET			-				
ZURCORP SECURITY			-	I	20.06.25	AMENDED BASIX	MJ
EHI			-	H	12.06.25	POWDER WC RELOCATED AS PER EMAIL	M.H.
AIR CONDITIONING			-	G	19.05.25	HYDRAULIC CO-ORDINATE DRAWINGS	M.H.
STAIRS			-	F	02.05.25	CV - 4	M.H.
LANDSCAPE				E	03.03.25	EXTERNAL COLOURS	MJ
HYDRAULICS				D	05.02.25	DA DRAWINGS	MJ
ENGINEER				C	22.01.25	CV1	MTK
PEG OUT				B	11.12.24	CONTRACT DRAWINGS	MTK
				A	29.10.24	TENDER SITING	SM

CLIENT'S SIGNATURE: _____ DATE: _____ REV _____ DATE _____ AMENDMENTS _____ BY _____

ClarendonHomes
 BL No. 2298C
 ABN 18 003 892 706
 Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
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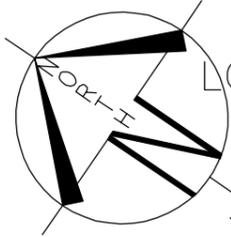
PRODUCT:
STAMFORD 45
 Riviera
 R/H Garage
 LUXE
 Master Issued: 31.10.24 Revision: A

CLIENT:
 Mr. MAKSOUR
 Mrs. MAKSOUR
 SITE ADDRESS:
 Lot 93 No. 28
 Fairview Avenue
 ROSELANDS, 2196

DA DRAWINGS

DRAWN: MTK	DATE: 10.12.24	Rev: I
RATIO @ A3: N/A	CHECKED: AL	
SHEET: 1	JOB No: 29917359	NSW

NORTH



LOT 85

LOT 86

LOT 89

LOT 94

LOT 93

LOT 92

AREA TO BE KEPT CLEAR OF SERVICES FOR FUTURE USE BY OWNER (1.20M MIN. FROM HOME)

PROVIDE CONCRETE LANDING BY CLARENDON

TWO STOREY RENDERED RESIDENCE TILE ROOF No.26

APPROX. LOCATION OF RETAINING WALL BY OWNER AFTER HANDOVER

PROVIDE CONCRETE LANDING BY CLARENDON

DENOTES TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION

APPROX. LOCATION OF EVERGLAS TRENCH (REFER TO HYDRAULIC DESIGN)

LOCATION OF 3000L SLIMLINE ABOVE GROUND RAINWATER TANK (2700Lx850WX1560H)

APPROX. LOCATION OF SEWER

LOCATION OF AIR CONDITIONING UNIT

APPROX. LOCATION OF RETAINING WALL BY OWNER AFTER HANDOVER

CLAD RESIDENCE TILE ROOF No.30

LOCATION OF METER BOX

PROVIDE CONCRETE LANDING BY CLARENDON

PROPOSED DRIVEWAY AND GRATED DRAIN BY OWNER AFTER HANDOVER

LOT 93
D.P: 12431
L.G.A: CANTERBURY-BANKSTOWN

SITING HAS BEEN COMPLETED IN ACCORDANCE WITH CANTERBURY DCP 2012

SITE AREA	581.20 m ²
ROOF AREA	285.9 m ²
FLOOR SPACE RATIO	
GROUND FLOOR:	125 m ²
FIRST FLOOR:	164.8 m ²
TOTAL LIVING AREA:	289.8 m ²
(EXCL. EXTERNAL WALLS/GARAGE/PORCH/STAIR VOID)	
FLOOR SPACE RATIO:	49.9 %
MAX. ALLOWABLE BY COUNCIL:	50 %

SITE COVERAGE	
SITE COVERAGE:	185.2 m ²
(EXCLUDES PORCH, ALFRESCO, DRIVEWAY, ETC.)	31.9 %
MAX. ALLOWABLE BY COUNCIL:	50 %

DEEP SOIL ZONE	
TOTAL DEEP SOIL ZONE:	279 m ²
(EXCLUDES HARD SURFACES)	48 %
MIN. REQUIRED BY COUNCIL:	20 %

HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

SITE COVERAGE STORMWATER CALCULATION	
ROOF FOOTPRINT:	285.9m ²
DRIVEWAY/ PAVED AREAS:	38.1m ²
TOTAL:	324m ²
	55.7 %
MAX SITE COVERAGE FOR OSD:	70%

BASIX LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	279m ²
(EXCLUDES HARD SURFACES)	48 %

CLASSIFICATION		
WIND ^{0.6}	SLAB	CLIMATE
N2	H1	ZONE 5

NOTE:
ALL GROUND LINES ARE APPROXIMATE. EXTENTS OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

RETAINING WALLS TO BE CONSTRUCTED WHOLLY WITHIN PROPERTY BOUNDARY INCLUDING DRAINAGE AND FOOTINGS

NOTE:
OWNER TO DEMOLISH & REMOVE FROM SITE EXISTING HOUSE, INCLUDING FOOTINGS & SERVICES ABOVE & BELOW GROUND, PATHS, DRIVE, TREES & FENCES ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

****B.O.S.****
(BUILDING OVER TO SEWER)
ORDER SEWER PEGOUT

STORMWATER CHARGED TO STREET VIA RAINWATER TANK
REFER TO HYDRAULIC DETAILS

FAIRVIEW AVENUE

REFER TO PAGE 7 FOR DRIVEWAY PROFILE

GRATED DRAIN TO FRONT OF GARAGE BY OWNER AFTER HANDOVER. OWNER TO SEEK ADVICE FROM A HYDRAULIC ENGINEER FOR THE SIZE OF THE GRATE

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

LEVELS TO BE STRICTLY ADHERED TO AS SHOWN ON SITE PLAN
NO + OR - 100mm
TOLERANCE TO LEVELS



SITE PLAN

SCALE 1:200
GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: _____ DATE: _____

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21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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PRODUCT:
STAMFORD 45
Riveria
R/H Garage

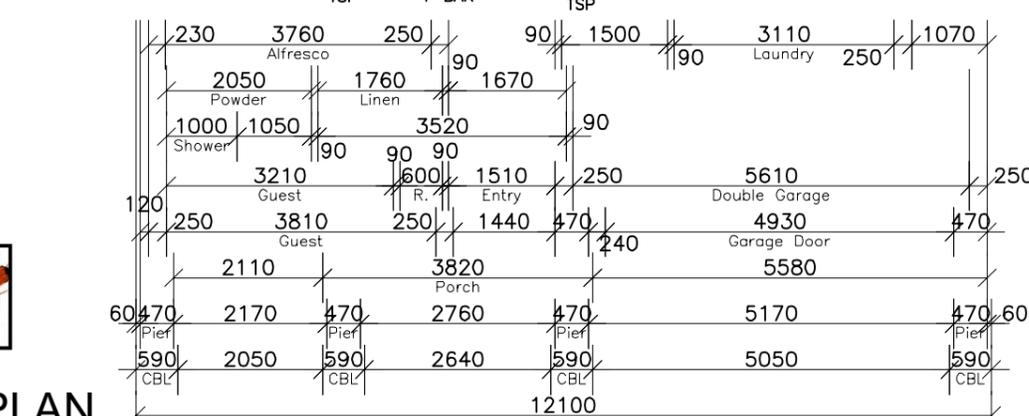
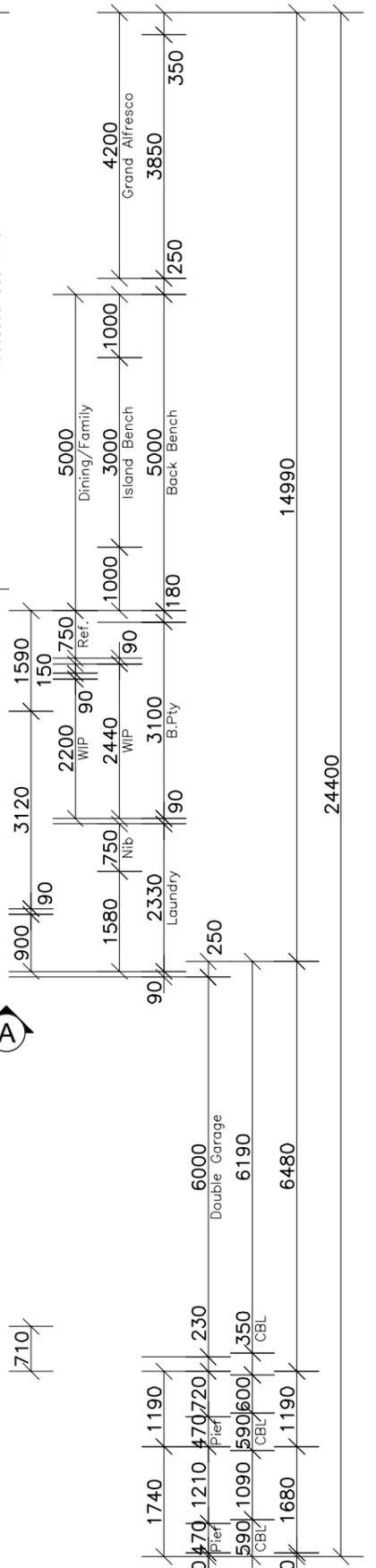
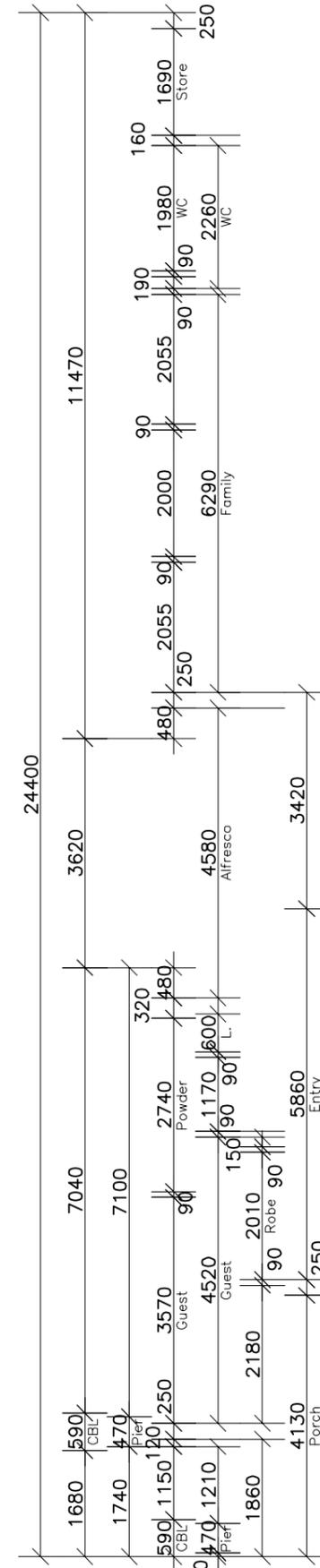
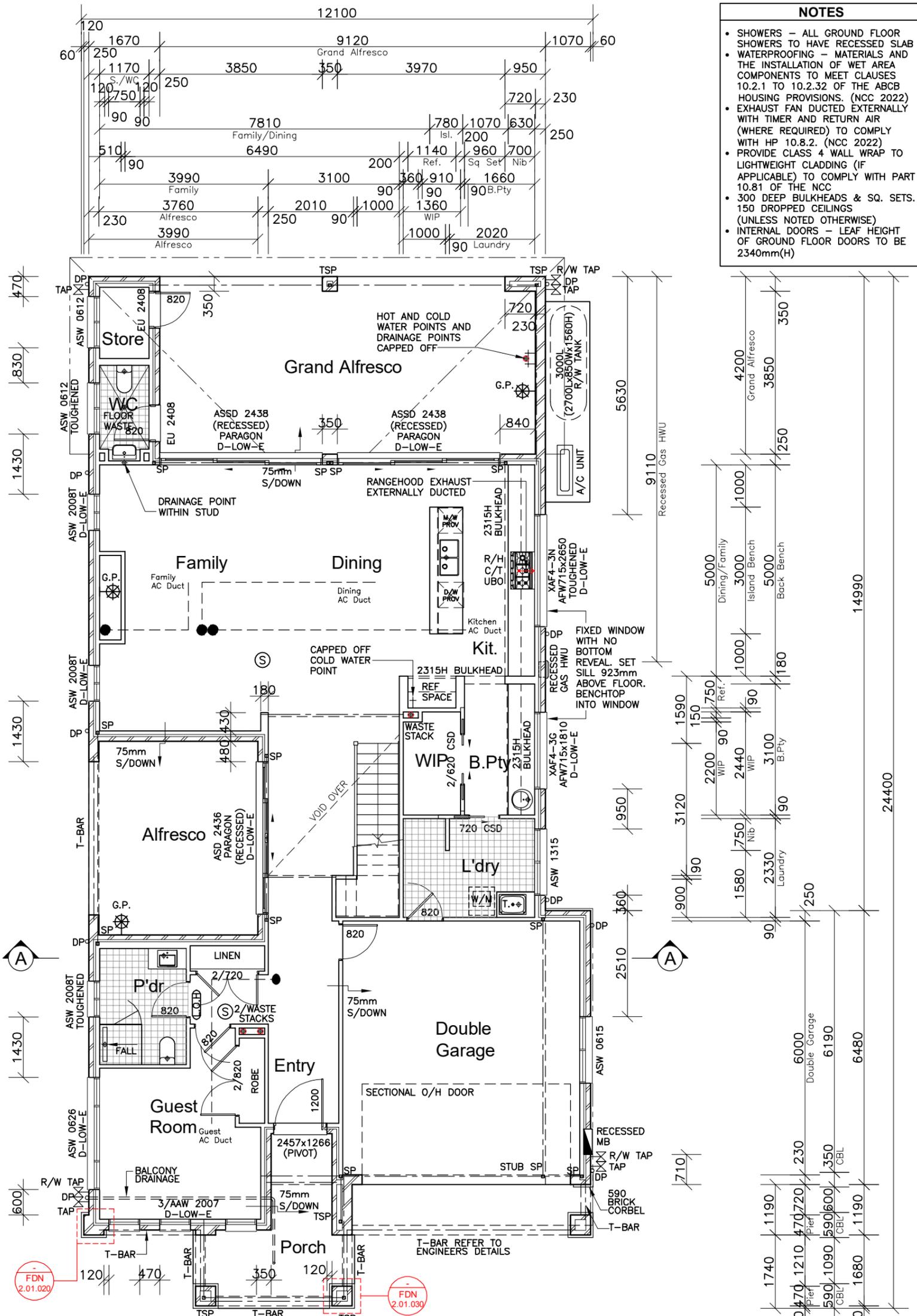
LUXE

CLIENT:
Mr. MAKSOOR
Mrs. MAKSOOR
SITE ADDRESS:
Lot 93 No. 28
Fairview Avenue
ROSELANDS, 2196

DA DRAWINGS		
DRAWN: SM	DATE: 28.10.24	Rev: 1
RATIO @ A3: 1:200	CHECKED: AL	
SHEET: 2	JOB No: 29917359	NSW

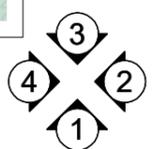
---	STRUCTURAL BEAM
SP	STEEL POST
TSP	TELESCOPIC STEEL POST
⊙	SMOKE ALARM
⊖	EXHAUST FAN
DP	DOWN PIPE
TAP	GARDEN TAP
⊔	LIFT OFF HINGES
⊔	MAKE-UP AIR VENT
C.E.J.	CEILING EXPANSION JOINT
⊖	EXHAUST FAN WITH RUN-ON TIMER
FWG	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
⊔	LINEAR FLOOR WASTE
●	AIR CONDITIONING DUCT

- NOTES**
- SHOWERS - ALL GROUND FLOOR SHOWERS TO HAVE RECESSED SLAB
 - WATERPROOFING - MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
 - EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
 - PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.8.1 OF THE NCC
 - 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)
 - INTERNAL DOORS - LEAF HEIGHT OF GROUND FLOOR DOORS TO BE 2340mm(H)



NOTE
ALL WASTE STACKS TO HAVE ACOUSTIC LAGGING

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



EPOXY FLOOR REFER TO SCHEDULE FOR GARAGE FLOOR FINISH

GROUND FLOOR PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

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ABN 18 003 892 706
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T: (02) 8851 5300

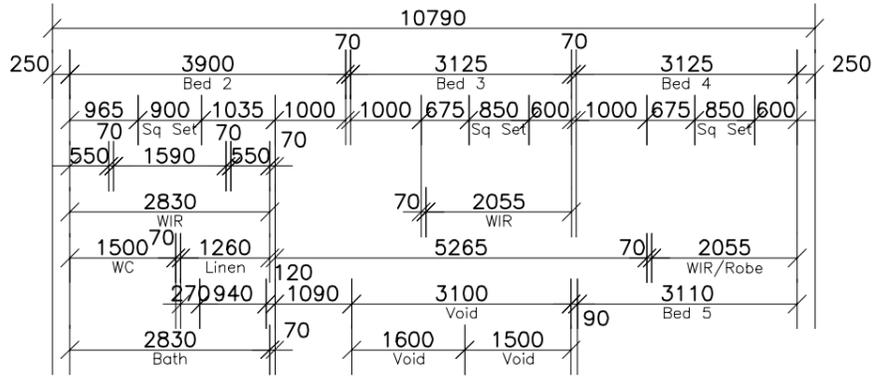
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PRODUCT:
STAMFORD 45
Riveria
R/H Garage
LUXE

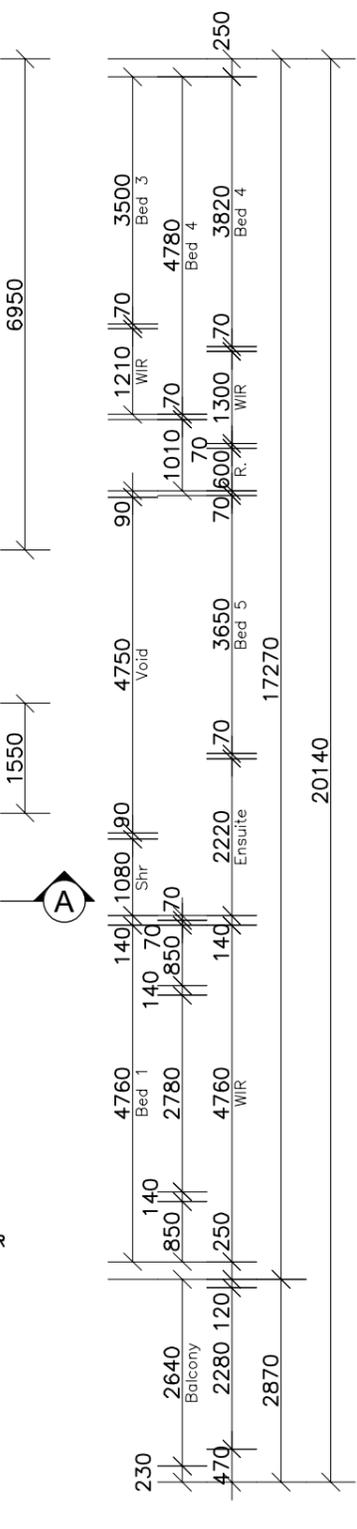
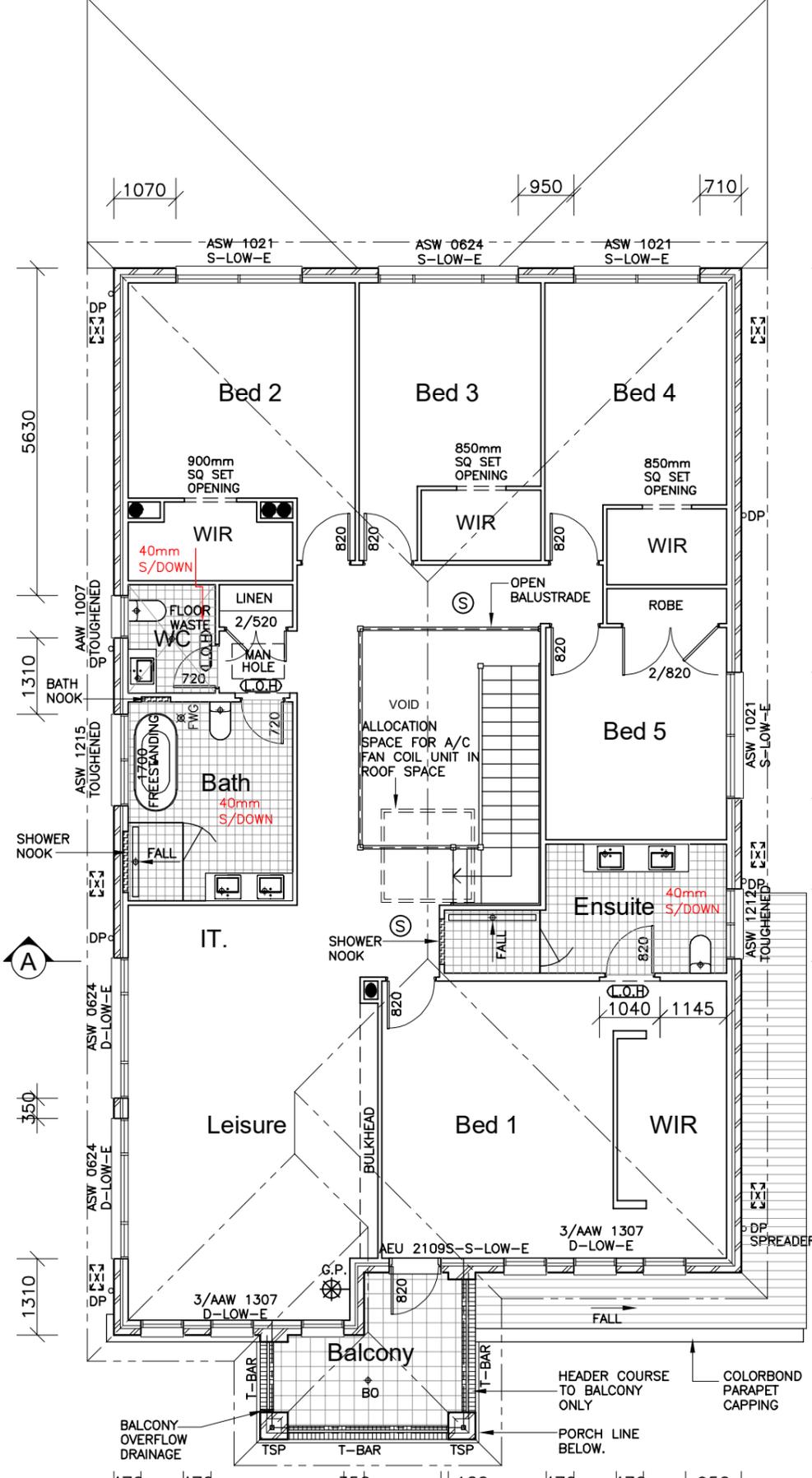
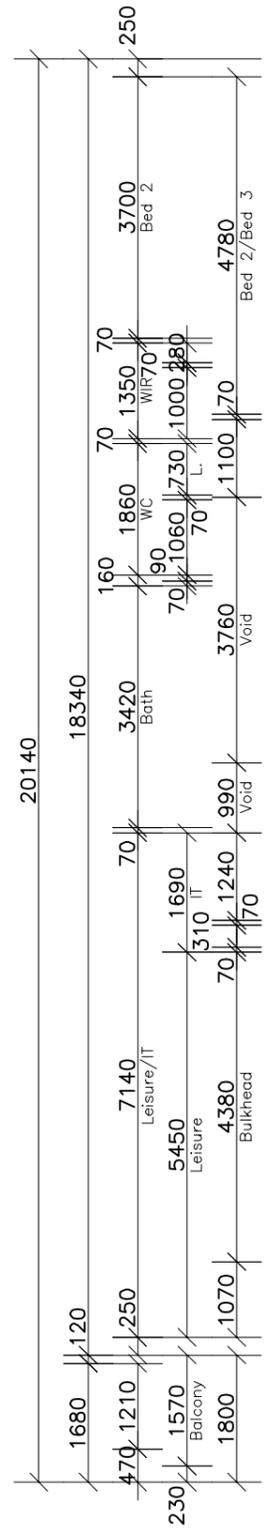
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Mrs. MAKSOOR
SITE ADDRESS:
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Fairview Avenue
ROSELANDS, 2196

DA DRAWINGS		
DRAWN: MTK	DATE: 10.12.24	Rev: I
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 3	JOB No: 29917359	NSW

---	STRUCTURAL BEAM
TSP	TELESCOPIC STEEL POST
(S)	SMOKE ALARM
(E)	EXHAUST FAN
DP	DOWN PIPE
(L.O.B)	LIFT OFF HINGES
(M.U.A)	MAKE-UP AIR VENT
(C.E.J)	CEILING EXPANSION JOINT
(E) →	EXHAUST FAN WITH RUN-ON TIMER
FWG	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
(#)	LINEAR FLOOR WASTE
●	AIR CONDITIONING DUCT



- NOTES**
- HEBEL FLOORING – ALL WET AREAS TO FIRST FLOOR – RECESS CREATED USING MARINE PLY
 - WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
 - BALCONIES – FINISHES SURFACE TO ALL BALCONIES ARE TO HAVE A MIN. FALL OF 1 IN 100 TO THE BALCONY OUTLET.
 - WINDOWS – ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.7 OF THE NCC
 - WINDOWS – ALL OTHER FIRST FLOOR WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.8 OF THE NCC
 - EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
 - PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.8.1 OF THE NCC
 - 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)

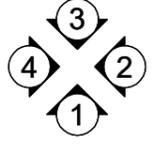


NOTE
ALL WASTE STACKS TO HAVE ACOUSTIC LAGGING

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO FIRST FLOOR TO BE 2340mm(H)

NOTE:
SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 11 FOR DETAILS

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



FIRST FLOOR PLAN

CLIENT'S SIGNATURE: _____

DATE: _____

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BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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PRODUCT:
STAMFORD 45
Riveria
R/H Garage
LUXE

CLIENT:
Mr. MAKSOOR
Mrs. MAKSOOR
SITE ADDRESS:
Lot 93 No. 28
Fairview Avenue
ROSELANDS, 2196

DA DRAWINGS		
DRAWN: MTK	DATE: 10.12.24	Rev: 1
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 4	JOB No: 29917359	NSW

DENOTES RENDER FINISH

NOTE:
PROVIDE A FLAT BRICK SILL WITH A 5° MIN. FALL TO ALL WINDOWS TO ELEVATION 1 (ONLY)

NOTE:
FOR ROOF PITCHES 20° OR LOWER - ROOF TILE SELECTION WILL BE IMPACTED.

DENOTES WINDOWS WITH DOUBLE GLAZED LOW-E GLAZING

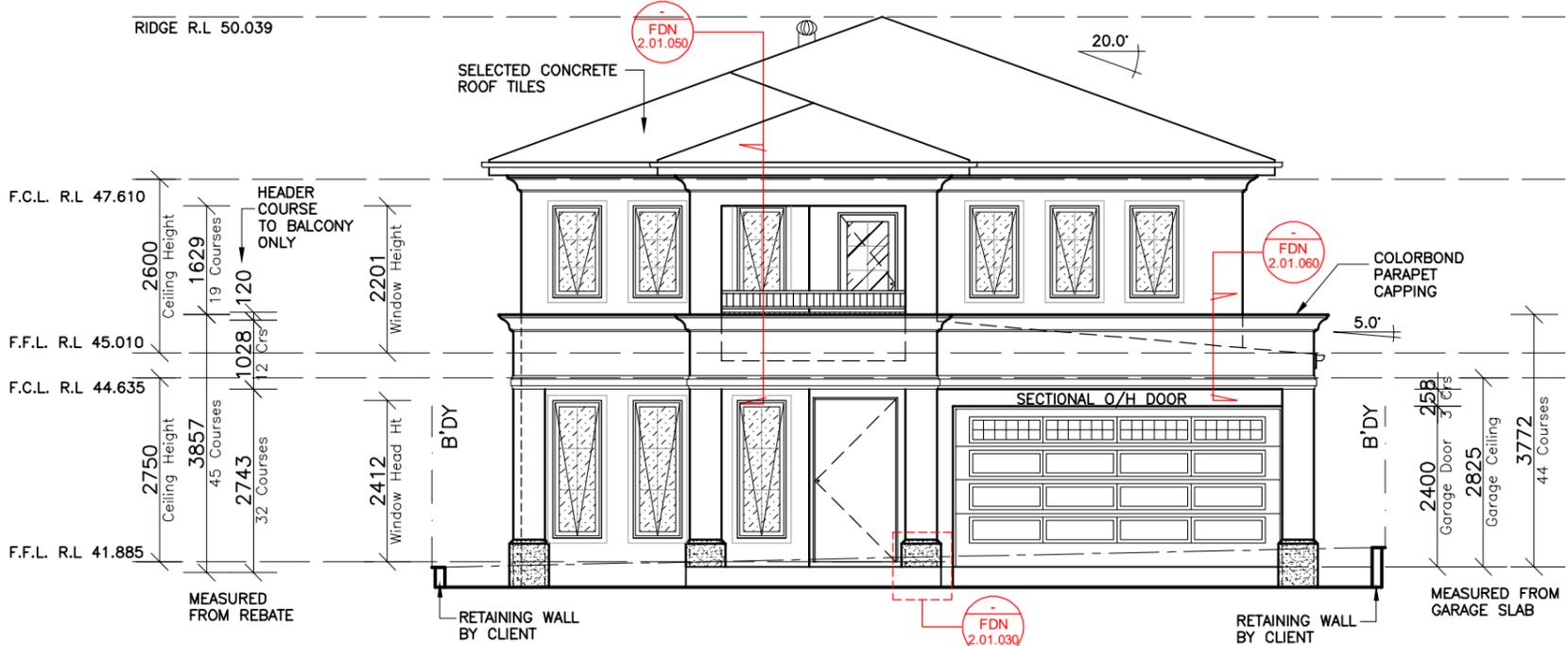
DENOTES WINDOWS WITH SINGLE GLAZED LOW-E GLAZING

HEBEL FLOORING CONSTRUCTION
(EXCLUDES WET AREAS)

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

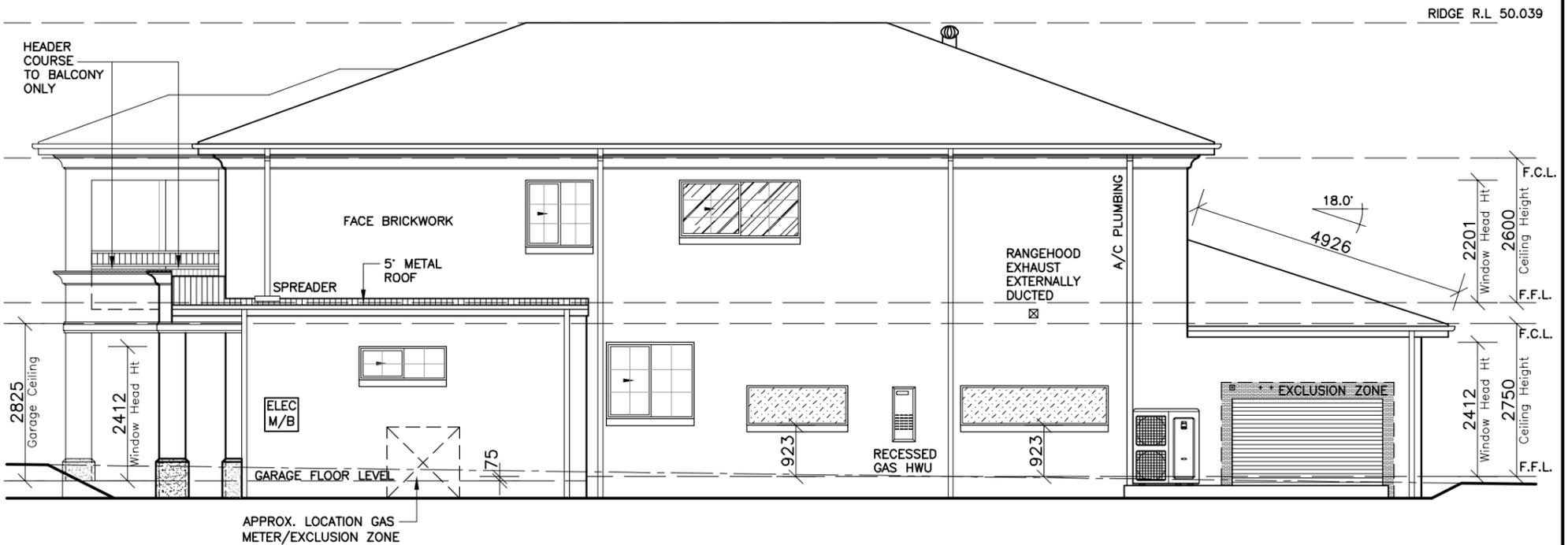


NOTES:
FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080



**ELEVATION 1
-SOUTH WEST-**

REFER TO FOR FDN 2.01.010
MOULDING DETAILS



**ELEVATION 2
-SOUTH EAST-**



CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

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ABN 18 003 892 706
Clarendon Homes (NSW) P/L
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PRODUCT:
STAMFORD 45
Riveria
R/H Garage

LUXE

CLIENT:
Mr. MAKSOUR
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SITE ADDRESS:
Lot 93 No. 28
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DA DRAWINGS

DRAWN: MTK	DATE: 10.12.24	Rev: 1
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 5	JOB No: 29917359	NSW

DENOTES RENDER FINISH

NOTE:
FOR ROOF PITCHES 20° OR LOWER -
ROOF TILE SELECTION WILL BE
IMPACTED.

DENOTES WINDOWS WITH
DOUBLE GLAZED LOW-E
GLAZING

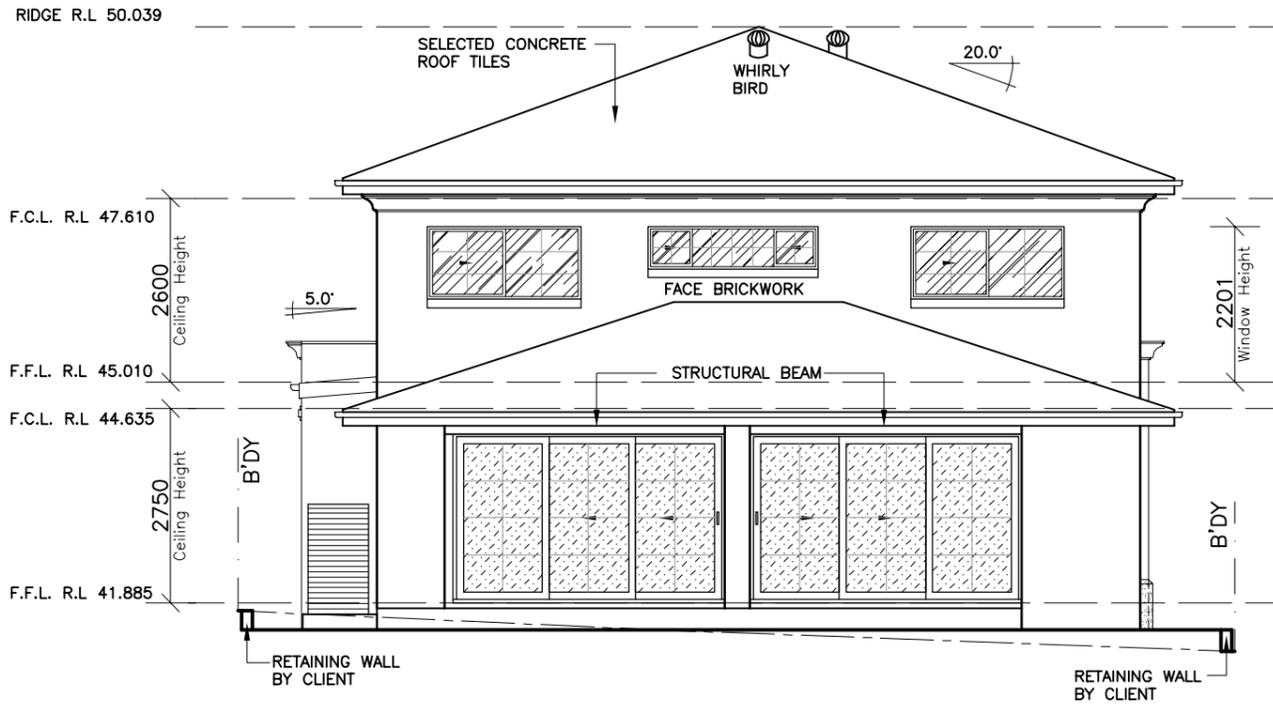
DENOTES WINDOWS WITH
SINGLE GLAZED LOW-E
GLAZING

**HEBEL FLOORING
CONSTRUCTION**
(EXCLUDES WET AREAS)

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080



**ELEVATION 3
-NORTH EAST-**



**ELEVATION 4
-NORTH WEST-**



CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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ELEMENTS. DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING.

PRODUCT:
STAMFORD 45
Riveria
R/H Garage

LUXE

CLIENT:
Mr. MAKSOOR
Mrs. MAKSOOR
SITE ADDRESS:
Lot 93 No. 28
Fairview Avenue
ROSELANDS, 2196

DA DRAWINGS

DRAWN: MTK	DATE: 10.12.24	Rev: 1
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 6	JOB No: 29917359	NSW

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

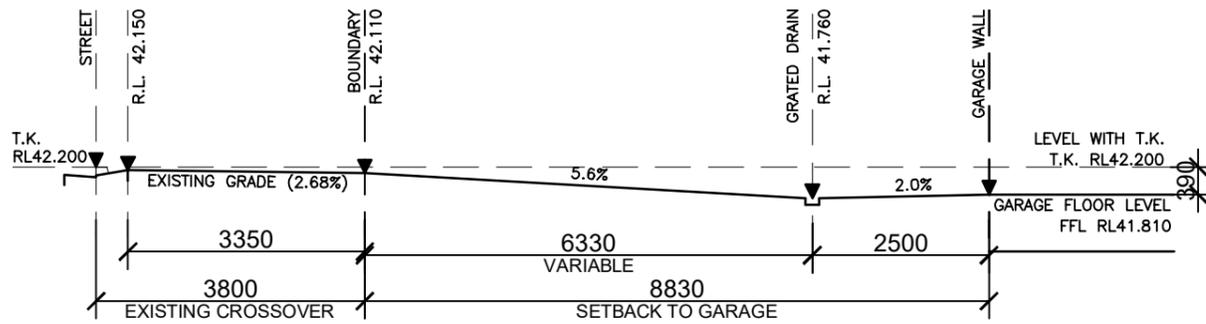
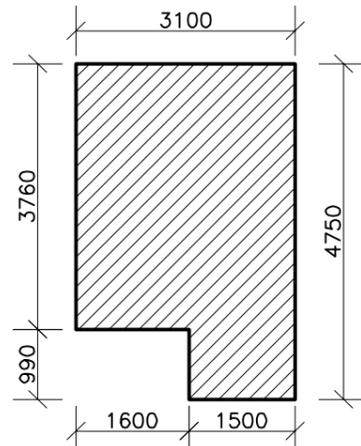
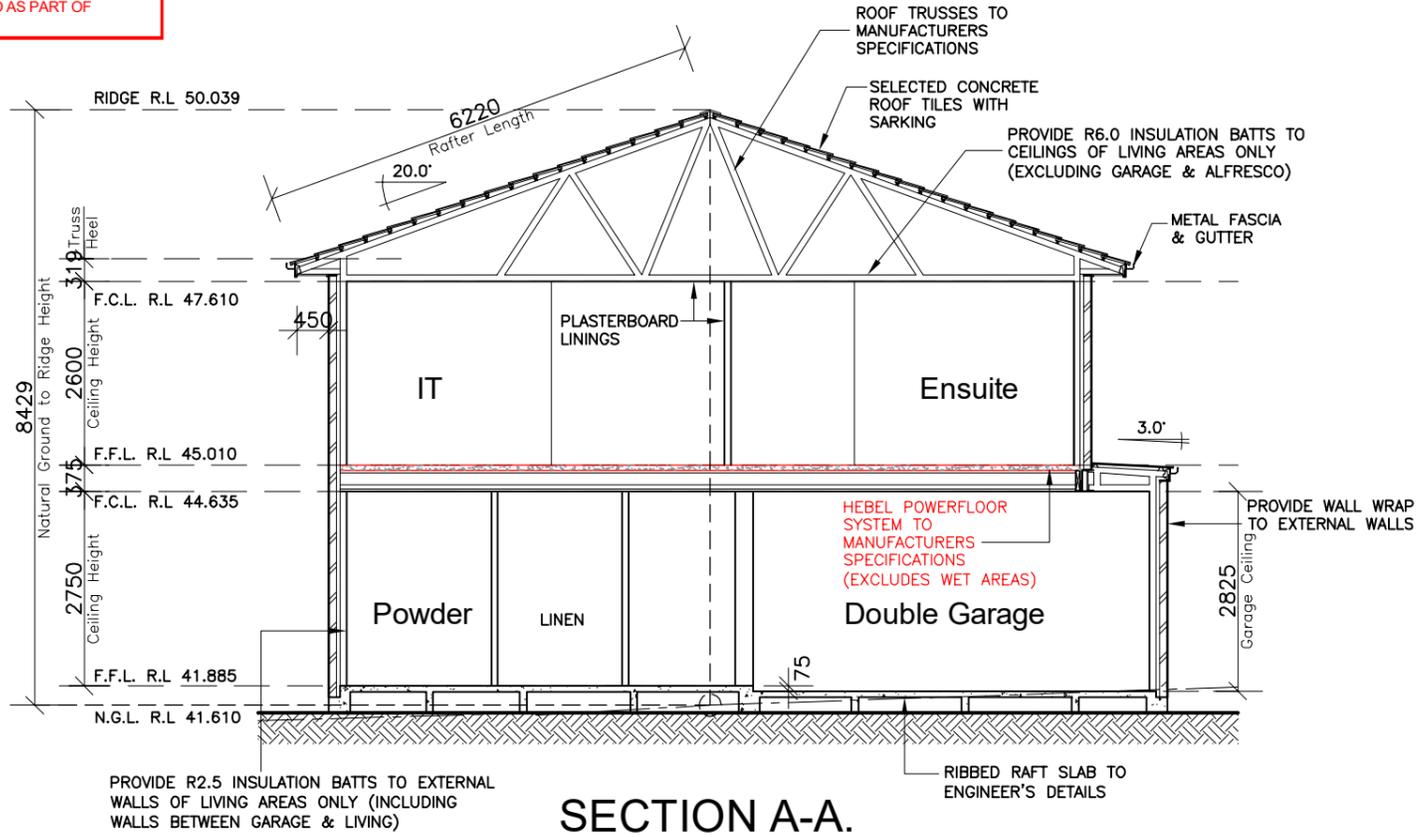


NOTE:
INTERNAL DOOR LEAF HEIGHTS TO GROUND & FIRST FLOOR TO BE 2340mm(H)

PROVIDE R6.0 INSULATION BATTS TO CEILING JOISTS BETWEEN GROUND FLOOR & FIRST FLOOR

PROVIDE R6.0 INSULATION BATTS TO CEILING JOISTS BETWEEN PORCH & FIRST FLOOR (R3.5 INSULATION INSTALLED AS PART OF CONSTRUCTION METHOD)

HEBEL FLOORING CONSTRUCTION
(EXCLUDES WET AREAS)



CLIENT'S SIGNATURE: _____ DATE: _____

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PRODUCT:
STAMFORD 45
Riveria
R/H Garage

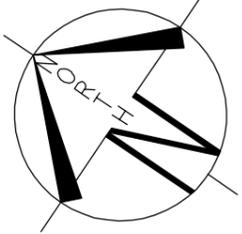
LUXE

CLIENT:
Mr. MAKSOOR
Mrs. MAKSOOR
SITE ADDRESS:
Lot 93 No. 28
Fairview Avenue
ROSELANDS, 2196

DA DRAWINGS

DRAWN: MTK	DATE: 10.12.24	Rev: 1
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 7	JOB No: 29917359	NSW

NORTH



LOT 85

LOT 86

LOT 89

LOT 94

LOT 93

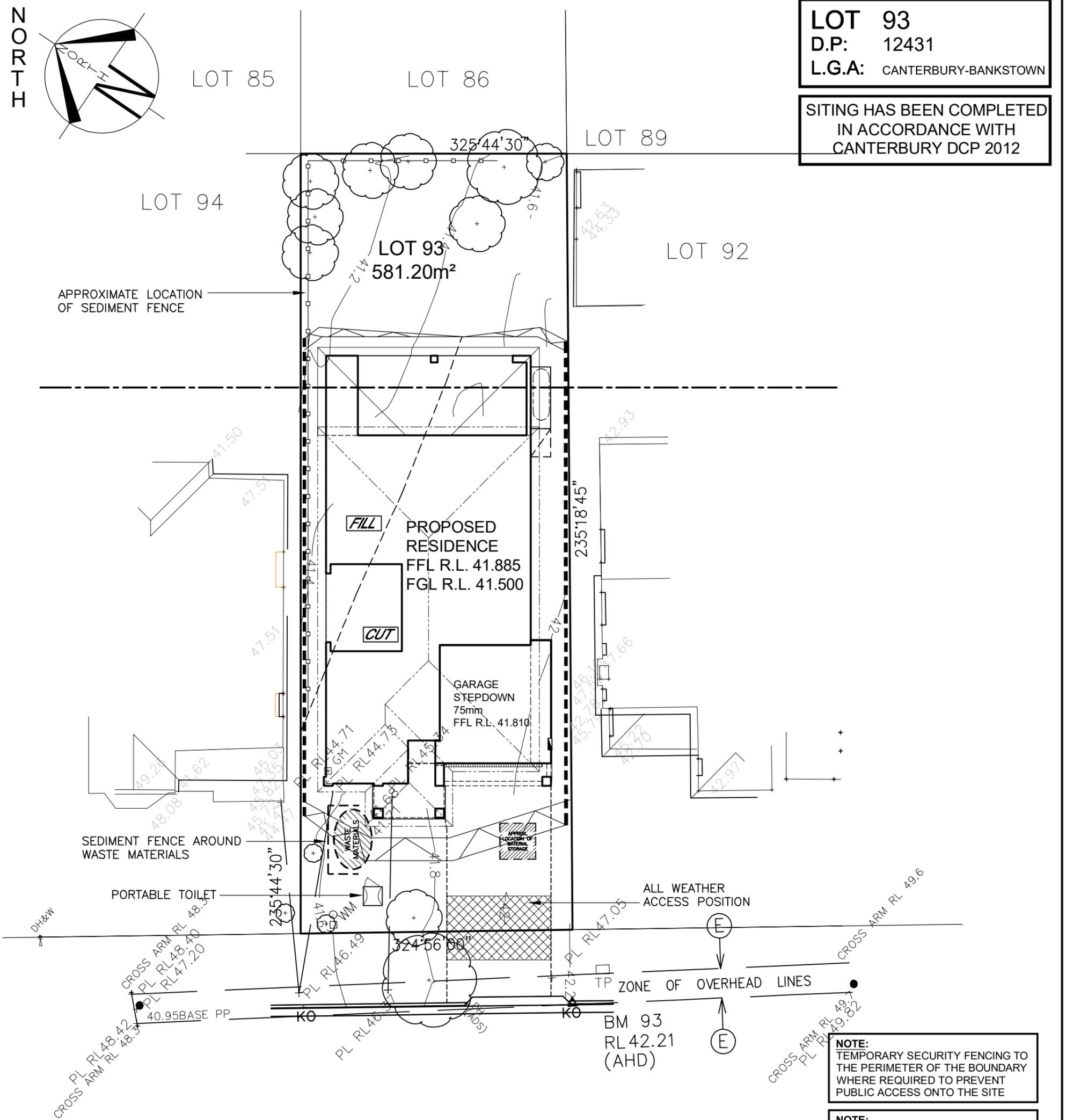
581.20m²

LOT 92

LOT 93
D.P: 12431
L.G.A: CANTERBURY-BANKSTOWN

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
CANTERBURY DCP 2012

APPROXIMATE LOCATION
OF SEDIMENT FENCE



SEDIMENT FENCE AROUND
WASTE MATERIALS

PORTABLE TOILET

ALL WEATHER
ACCESS POSITION

ZONE OF OVERHEAD LINES

BM 93
RL 42.21
(AHD)

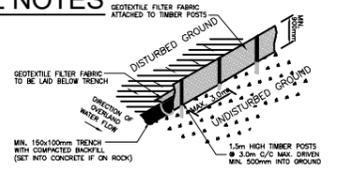
NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
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PRODUCT:
STAMFORD 45
Riviera
R/H Garage

LUXE

CLIENT:
Mr. MAKSOOR
Mrs. MAKSOOR

SITE ADDRESS:
Lot 93 No. 28
Fairview Avenue
ROSELANDS, 2196

DA DRAWINGS

DRAWN: MTK	DATE: 10.12.24	Rev: 1
RATIO @ A3: 1:200	CHECKED: AL	
SHEET: 2.1	JOB No: 29917359	NSW

NORTH

LOT 93
D.P: 12431
L.G.A: CANTERBURY-BANKSTOWN

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
CANTERBURY DCP 2012

LOT 86

LOT 89

LOT 92

LOT 94

LOT 93
581.20m²

2

PROPOSED
RESIDENCE
FFL R.L. 41.885
FGL R.L. 41.500

GARAGE
STEPDOWN
75mm
FFL R.L. 41.810

FILL

CUT

BM 93
RL 42.21
(AHD)

1/2 NUMBER OF STOREYS

P PRINCIPAL PRIVATE OPEN SPACE

MAIN VIEWS

NOISE IMPACT

PREVAILING WINDS

SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

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PRODUCT:
STAMFORD 45
Riviera
R/H Garage

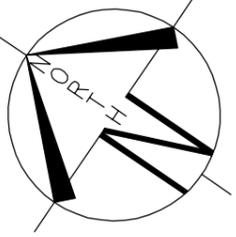
LUXE

CLIENT:
Mr. MAKSOOR
Mrs. MAKSOOR

SITE ADDRESS:
Lot 93 No. 28
Fairview Avenue
ROSELANDS, 2196

DA DRAWINGS		
DRAWN: MTK	DATE: 10.12.24	Rev: 1
RATIO @ A3: 1:200	CHECKED: AL	
SHEET: 2.2	JOB No: 29917359	NSW

N
E
W



LOT 85

LOT 86

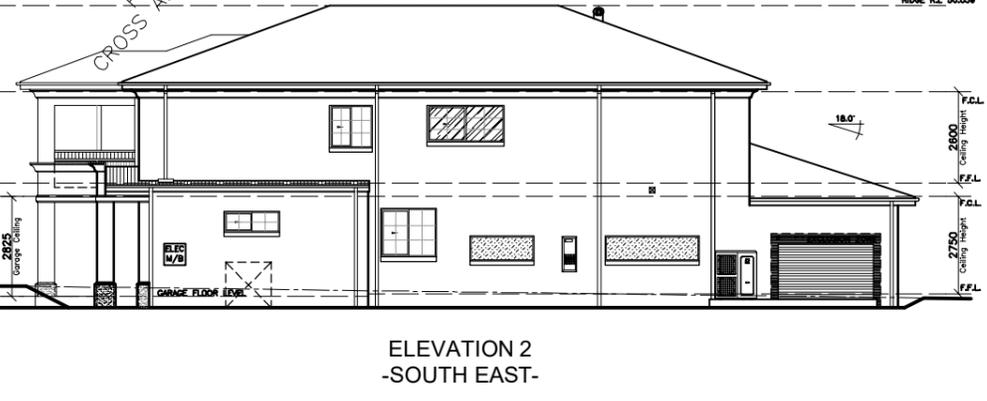
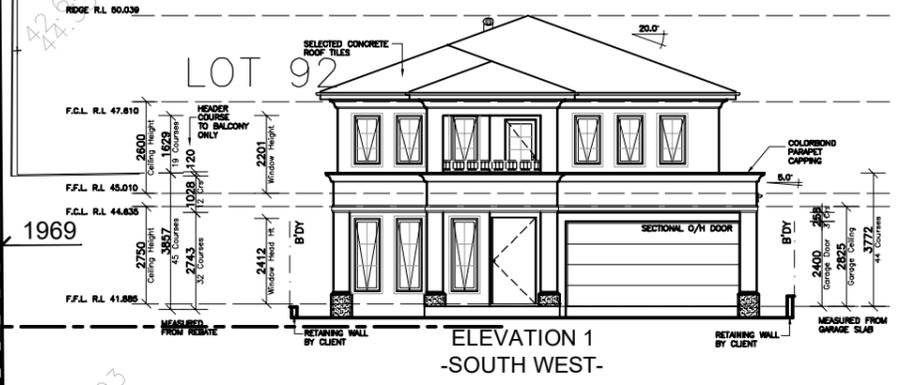
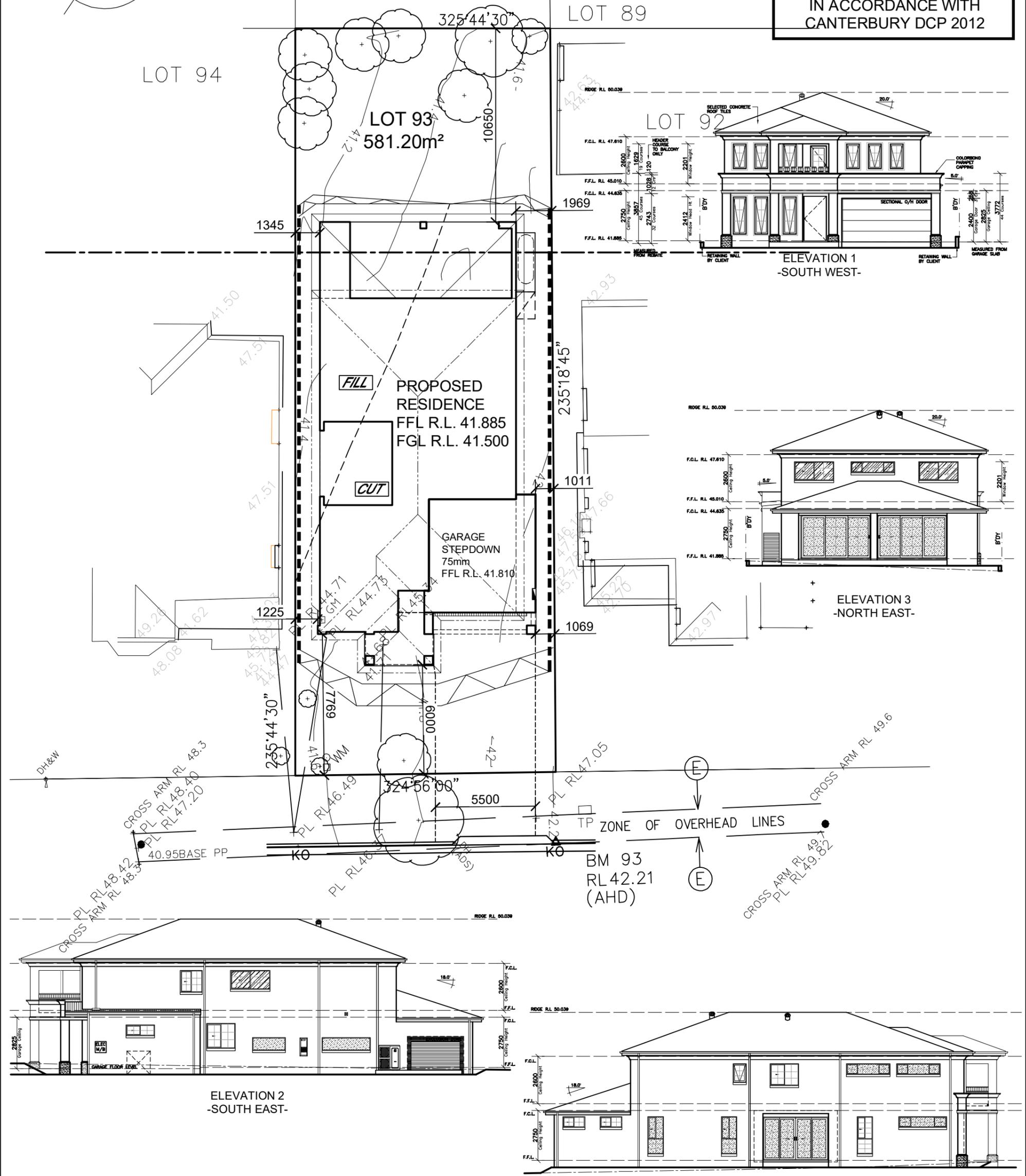
LOT 89

LOT 94

LOT 93
581.20m²

LOT 93
D.P: 12431
L.G.A: CANTERBURY-BANKSTOWN

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CANTERBURY DCP 2012**



NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

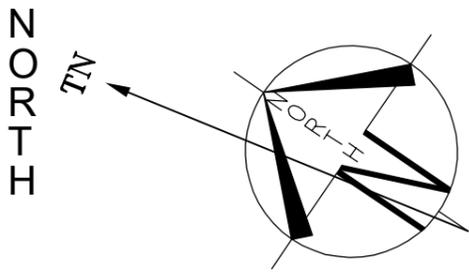
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PRODUCT:
STAMFORD 45
 Riviera
 R/H Garage
 LUXE

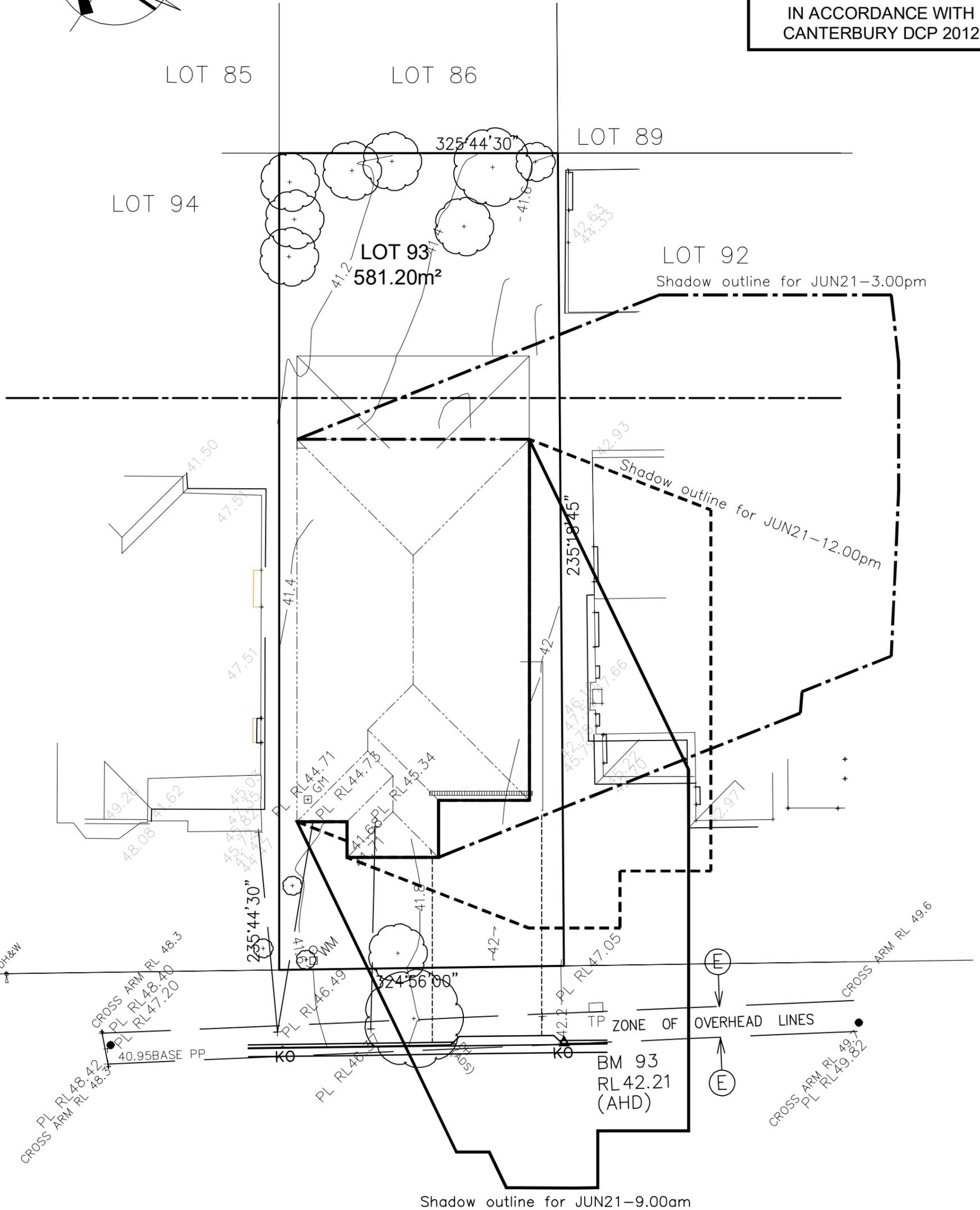
CLIENT:
 Mr. MAKSOOR
 Mrs. MAKSOOR
 SITE ADDRESS:
 Lot 93 No. 28
 Fairview Avenue
 ROSELANDS, 2196

DA DRAWINGS		
DRAWN: MTK	DATE: 10.12.24	Rev: 1
RATIO @ A3: 1:200	CHECKED: AL	
SHEET: 2.3	JOB No: 29917359	NSW



LOT 93
D.P: 12431
L.G.A: CANTERBURY-BANKSTOWN

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CANTERBURY DCP 2012



SHADOW DIAGRAM @ 21st JUNE

CLIENT'S SIGNATURE: _____

DATE: _____

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 ABN 18 003 892 706

Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
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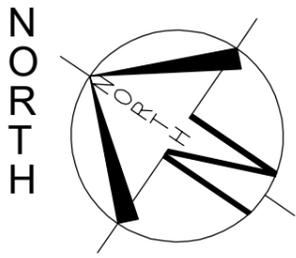
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PRODUCT:
STAMFORD 45
 Riviera
 R/H Garage
 LUXE

CLIENT:
 Mr. MAKSOUR
 Mrs. MAKSOUR
 SITE ADDRESS:
 Lot 93 No. 28
 Fairview Avenue
 ROSELANDS, 2196

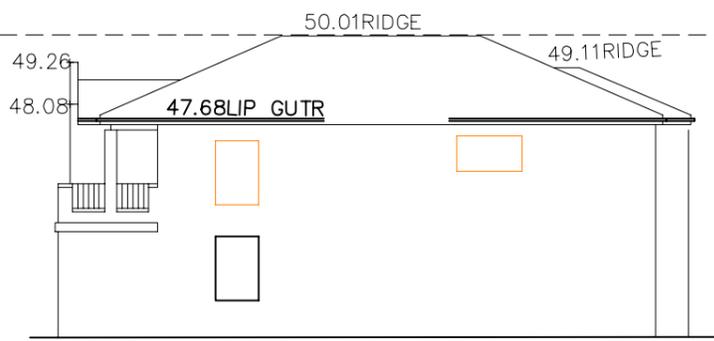
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SHEET: 2.4	JOB No: 29917359	NSW

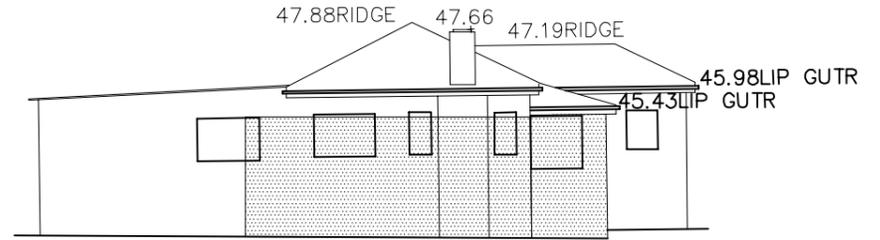


LOT 93
D.P: 12431
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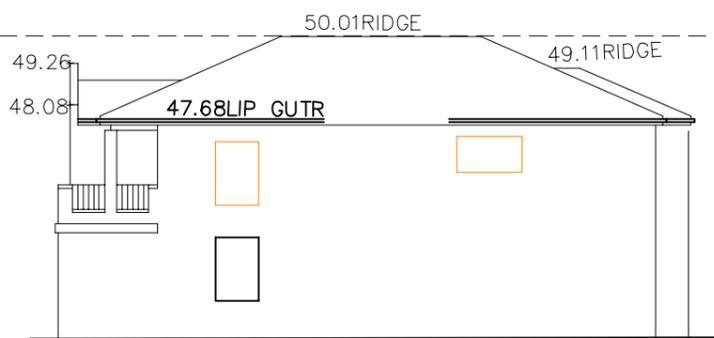
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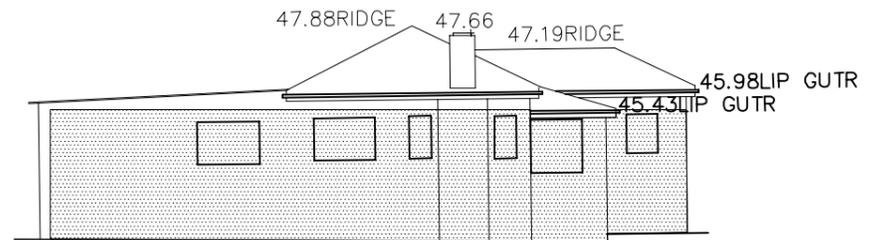
PROPOSED
 RIDGE R.L 50.039



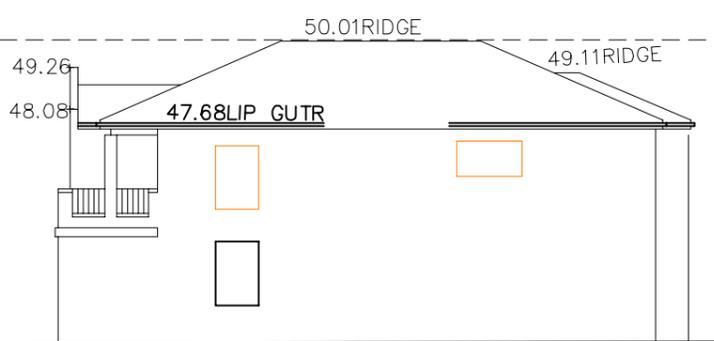
Shadow outline for JUN21-9.00am



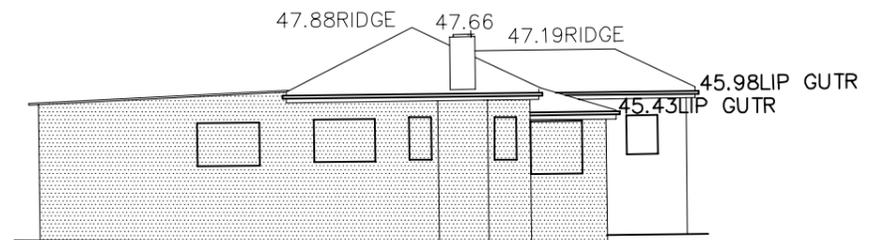
PROPOSED
 RIDGE R.L 50.039



Shadow outline for JUN21-12.00pm



PROPOSED
 RIDGE R.L 50.039



Shadow outline for JUN21-3.00pm

ELEVATIONAL SHADOWS @ 21st JUNE

CLIENT'S SIGNATURE: _____ DATE: _____

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PRODUCT:
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 Riviera
 R/H Garage
 LUXE

CLIENT:
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 Mrs. MAKSOOR
 SITE ADDRESS:
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RATIO @ A3: 1:200	CHECKED: AL	
SHEET: 2.5	JOB No: 29917359	NSW

LOT 93
D.P: 12431
L.G.A: CANTERBURY-BANKSTOWN

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 IN ACCORDANCE WITH
 CANTERBURY DCP 2012**

VIEW FROM FAIRVIEW AVENUE



No. 26



No. 28



No. 30

STREETSCAPE ELEVATION

CLIENT'S SIGNATURE: _____ DATE: _____

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RATIO @ A3: 1:200	CHECKED: AL	
SHEET: 2.6	JOB No: 29917359	NSW