

Certificate number: 1781573S\_02

Water Commitments

Show on DA plans

Show on CC/CDC plans & specs

Certifier check

Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.

The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 72.5 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- all toilets in the development
- the cold water tap that supplies each clothes washer in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Thermal Performance and Materials commitments

Show on DA plans

Show on CC/CDC plans & specs

Certifier check

Simulation Method

Assessor details and thermal loads

The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.

The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.

The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.

The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.

The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.

Construction

The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.

The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.

Construction

Area - m²

Insulation

floor - concrete slab on ground, waffle pod slab.128.1none

floor - suspended floor above open subfloor, particle board; frame: light steel frame.21.8not specified

floor - above habitable rooms or mezzanine, particle board; frame: light steel frame..147.1not specified

floor - suspended floor above garage, particle board; frame: light steel frame.26.6not specified

garage floor - concrete slab on ground, waffle pod slab.33.8none

external wall: brick veneer; frame: light steel frame.all external wallsfibreglass batts or roll+ foilsarking

external garage wall: brick veneer; frame: light steel frame.22.6none

external garage wall: cavity brick; frame: no frame.4.3none

internal wall: plasterboard; frame: light steel frame.211none

ceiling and roof - flat ceiling / pitched roof, framed - concrete tiles - timber - H2 treated softwood.286ceiling: fibreglass batts or roll; roof: foilsarking.

Glazing

The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.

Show on DA plans

Show on CC/CDC plans & specs

Certifier check

Frames

Maximum area - m2

aluminium66.8

timber0

uPVC0

steel0

composite0

Glazing

Maximum area - m2

single29.2

double37.6

triple0

Energy Commitments

Show on DA plans

Show on CC/CDC plans & specs

Certifier check

Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 3 star (average zone)

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 3 star (average zone)

Heating system

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 3.5 star (average zone)

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 3.5 star (average zone)

Ventilation

The applicant must install the following exhaust systems in the development:  
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: please select

Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Laundry: natural ventilation only, or no laundry; Operation control: n/a

Artificial lighting

The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Natural lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.

Other

The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

The applicant must install a fixed outdoor clothes drying line as part of the development.

CHN - CONSTRUCTION DETAILS

CDN 09.000 - Scaffold Details

CDN 18.000 - Concrete Details

CDN 21.000 - Framing Details

CDN 24.000 - Door & Window Details

CDN 27.000 - Steel Details

CDN 30.000 - Brickwork Details

CDN 32.000 - Balcony Details

CDN 33.000 - Plumbing, Fascia & Gutter Details

CDN 35.000 - Hebel Details

CDN 36.000 - External Cladding Details

CDN 48.000 - Internal Fixout Details

CDN 54.000 - Tiling & Wet Area Details

CHN - FACADE DETAILS

2.6	STREETSCAPE ELEVATION
2.5	ELEVATION SHADOWS
2.4	JUN SHADOW DIAGRAM
2.3	NEIGHBOUR NOTIFICATION PLAN
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
12	SLAB PLAN
11	WET AREA DETAILS
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET
SHEET	DESCRIPTION

AREAS

SITE:	581.20 m²
GROUND FLOOR:	148.06 m²
FIRST FLOOR:	191.07 m²
GARAGE:	37.13 m²
PORCH:	10.81 m²
BALCONY:	8.59 m²
ALFRESCO:	56.57 m²
	m²
TOTAL:	452.23 m²

QUOTE	DATE	QUOTE NUMBER	REV						
KITCHEN			-						
ZURCORP ELECTRICAL			-						
TILES			-						
CARPET			-						
ZURCORP SECURITY			-	I	20.06.25	AMENDED BASIX		MJ	
EHI			-	H	12.06.25	POWDER WC RELOCATED AS PER EMAIL		M.H.	
AIR CONDITIONING			-	G	19.05.25	HYDRAULIC CO-ORDINATE DRAWINGS		M.H.	
STAIRS			-	F	02.05.25	CV - 4		M.H.	
LANDSCAPE				E	03.03.25	EXTERNAL COLOURS		MJ	
HYDRAULICS				D	05.02.25	DA DRAWINGS		MJ	
ENGINEER				C	22.01.25	CV1		MTK	
PEG OUT				B	11.12.24	CONTRACT DRAWINGS		MTK	
				A	29.10.24	TENDER SITING		SM	
CLIENT'S SIGNATURE:				REV	DATE	AMENDMENTS		BY	

ClarendonHomes

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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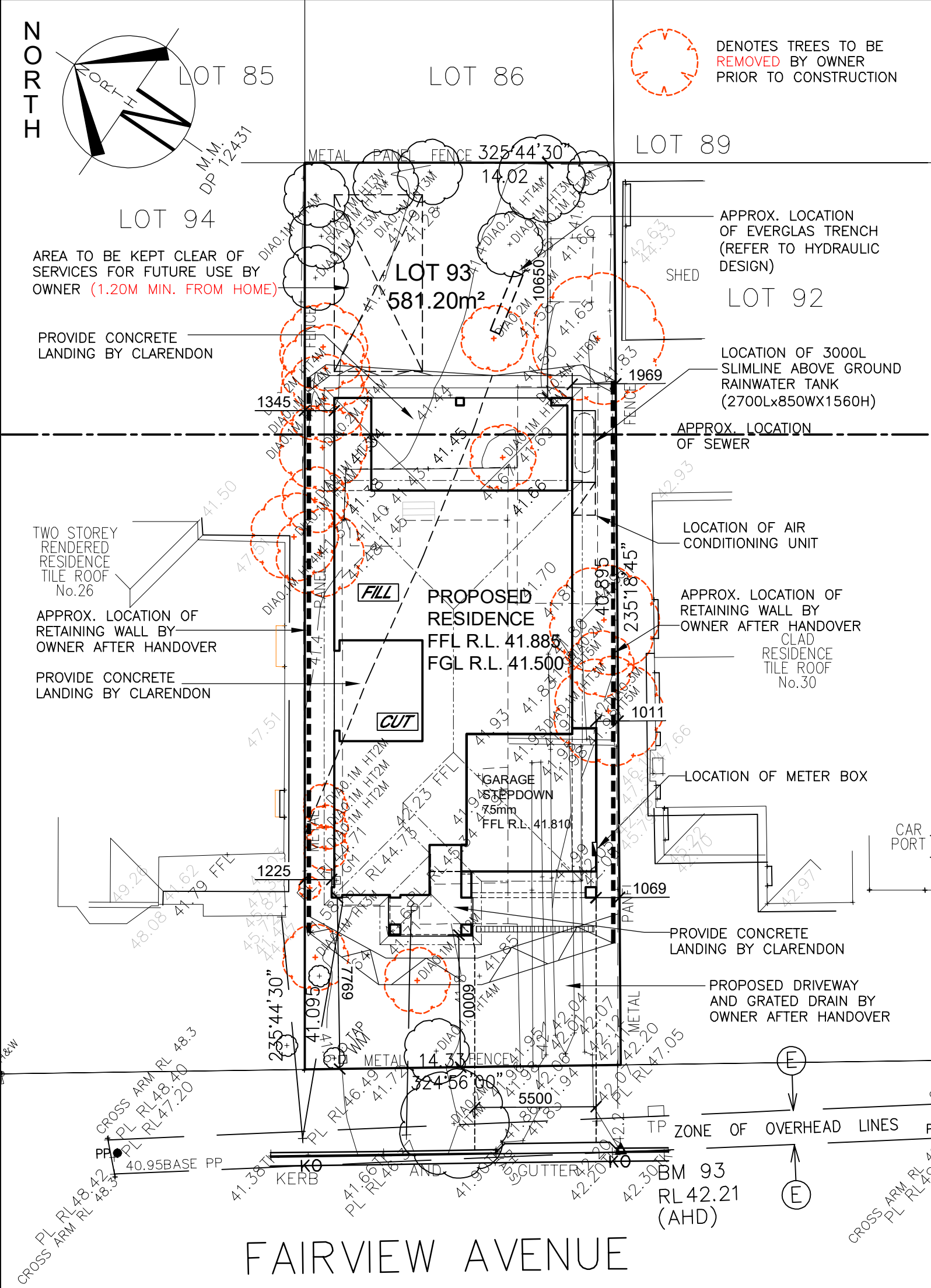
PRODUCT:  
STAMFORD 45  
Riveria  
R/H Garage

LUXE  
Master Issued: 31.10.24  
Revision: A

CLIENT:  
Mr. MAKsour  
Mrs. MAKsour  
SITE ADDRESS:  
Lot 93 No. 28  
Fairview Avenue  
ROSELANDS, 2196

DA DRAWINGS

DRAWN: MTK	DATE: 10.12.24	Rev: I
RATIO @ A3: N/A	CHECKED: AL	
SHEET: 1	JOB No: 29917359	NSW



LOT 93

D.P: 12431

L.G.A: CANTERBURY-BANKSTOWN

SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
CANTERBURY DCP 2012

SITE AREA	581.20 m²	
ROOF AREA	285.9 m²	
FLOOR SPACE RATIO		
GROUND FLOOR:	125 m²	
FIRST FLOOR:	164.8 m²	
TOTAL LIVING AREA:	289.8 m²	
(EXCL. EXTERNAL WALLS/GARAGE/PORCH/STAIR VOID)		
FLOOR SPACE RATIO:	49.9 %	
MAX. ALLOWABLE BY COUNCIL:	50 %	
SITE COVERAGE		
SITE COVERAGE:	185.2 m²	
(EXCLUDES PORCH, ALFRESCO, DRIVEWAY, ETC.)	31.9 %	
MAX. ALLOWABLE BY COUNCIL:	50 %	
DEEP SOIL ZONE		
TOTAL DEEP SOIL ZONE:	279 m²	
(EXCLUDES HARD SURFACES)	48 %	
MIN. REQUIRED BY COUNCIL:	20 %	
HEIGHT RESTRICTION		
MAXIMUM RIDGE HEIGHT	8.5 m	
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)		
SITE COVERAGE		
STORMWATER CALCULATION		
ROOF FOOTPRINT:	285.9m²	
DRIVEWAY/ PAVED AREAS:	38.1m²	
TOTAL:	324m²	
	55.7 %	
MAX SITE COVERAGE FOR OSD:	70%	
BASIX LANDSCAPED AREA		
TOTAL LANDSCAPE AREA:	279m²	
(EXCLUDES HARD SURFACES)	48 %	
CLASSIFICATION		
WIND	SLAB	CLIMATE
N2	H1	ZONE 5



SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE:

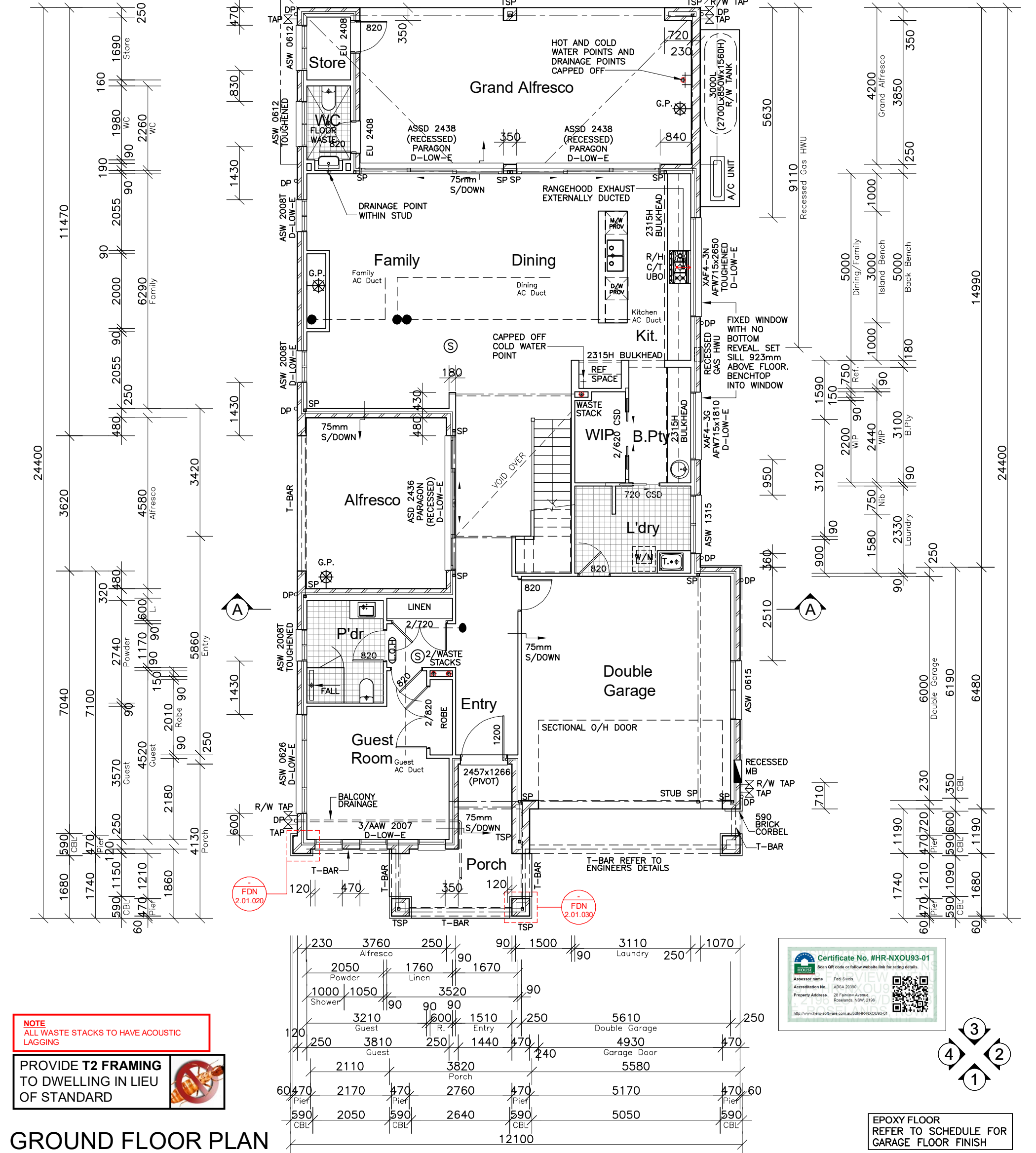
DATE:

<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div>	<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div>	<div>PRODUCT:</div> <div>STAMFORD 45</div> <div>Riveria</div> <div>R/H Garage</div> <div>LUXE</div>	<div>CLIENT:</div> <div>Mr. MAKSOUR</div> <div>Mrs. MAKSOUR</div>	DA DRAWINGS		
			<div>SITE ADDRESS:</div> <div>Lot 93 No. 28</div> <div>Fairview Avenue</div> <div>ROSELANDS, 2196</div>	<div>DRAWN:</div> <div>SM</div>	<div>DATE:</div> <div>28.10.24</div>	<div>Rev:</div> <div>I</div>
				<div>RATIO @ A3:</div> <div>1:200</div>	<div>CHECKED:</div> <div>AL</div>	
				<div>SHEET:</div> <div>2</div>	<div>JOB No:</div> <div>29917359</div>	<div>NSW</div>



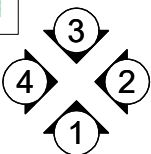
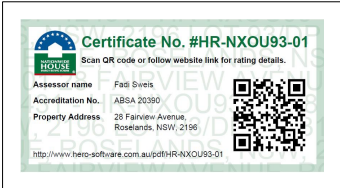
---	STRUCTURAL BEAM
SP □	STEEL POST
TSP □	TELESCOPIC STEEL POST
(S)	SMOKE ALARM
(E)	EXHAUST FAN
DP ○	DOWN PIPE
TAP X	GARDEN TAP
(L.O.H)	LIFT OFF HINGES
(M.U.A)	MAKE-UP AIR VENT
(C.E.J)	CEILING EXPANSION JOINT
(E)→	EXHAUST FAN WITH RUN-ON TIMER
FWG X	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
—+—	LINEAR FLOOR WASTE
●	AIR CONDITIONING DUCT

NOTES
• SHOWERS – ALL GROUND FLOOR SHOWERS TO HAVE RECESSED SLAB
• WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
• EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
• PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.8.1 OF THE NCC
• 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)
• INTERNAL DOORS – LEAF HEIGHT OF GROUND FLOOR DOORS TO BE 2340mm(H)



NOTE  
ALL WASTE STACKS TO HAVE ACOUSTIC LAGGING

PROVIDE T2 FRAMING  
TO DWELLING IN LIEU  
OF STANDARD



EPOXY FLOOR  
REFER TO SCHEDULE FOR  
GARAGE FLOOR FINISH

## GROUND FLOOR PLAN

CLIENT'S SIGNATURE:

DATE:

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BL No. 2298C  
ABN 18 003 892 706

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PRODUCT:  
**STAMFORD 45**  
Riveria  
R/H Garage  
  
**LUXE**

CLIENT:  
**Mr. MAKSOOR**  
**Mrs. MAKSOOR**  
  
SITE ADDRESS:  
**Lot 93 No. 28**  
**Fairview Avenue**  
**ROSELANDS, 2196**

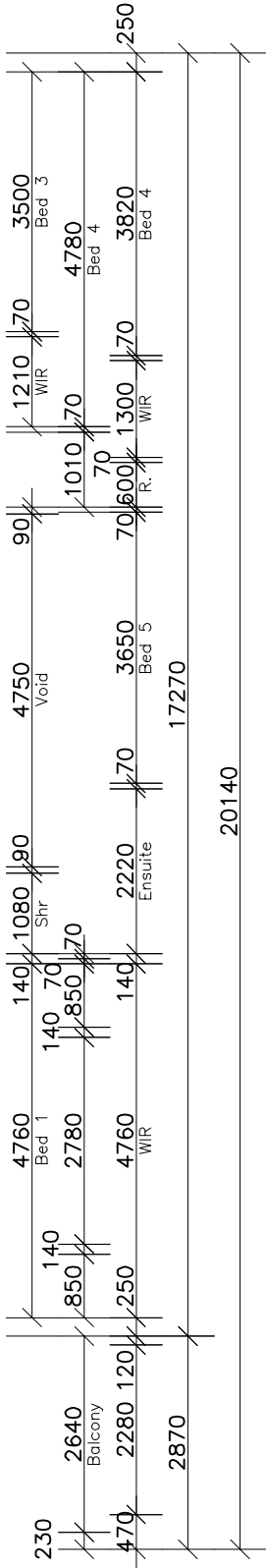
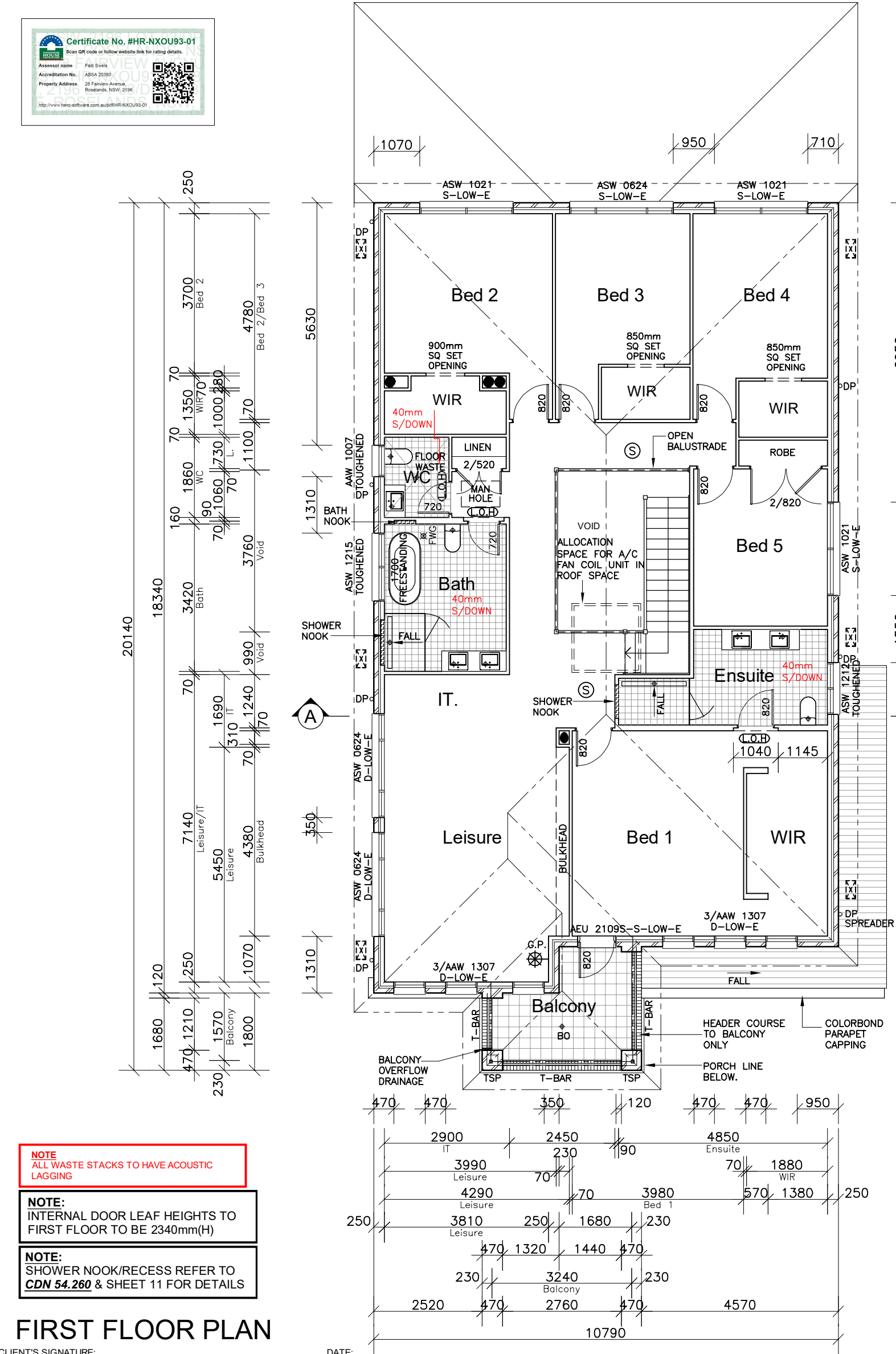
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DRAWN: MTK	DATE: 10.12.24	Rev: I
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 3	JOB No: 29917359	NSW

---	STRUCTURAL BEAM
TSP □	TELESCOPIC STEEL POST
⊙	SMOKE ALARM
⊗	EXHAUST FAN
DP ○	DOWN PIPE
⊔	LIFT OFF HINGES
MUA	MAKE-UP AIR VENT
C.E.J.	CEILING EXPANSION JOINT
⊗→	EXHAUST FAN WITH RUN-ON TIMER
FWG ✕	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
⊔	LINEAR FLOOR WASTE
●	AIR CONDITIONING DUCT



NOTES
<ul style="list-style-type: none"><li>• HEBEL FLOORING – ALL WET AREAS TO FIRST FLOOR – RECESS CREATED USING MARINE PLY</li><li>• WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)</li><li>• BALCONIES – FINISHES SURFACE TO ALL BALCONIES ARE TO HAVE A MIN. FALL OF 1 IN 100 TO THE BALCONY OUTLET.</li><li>• WINDOWS – ALL FIRST FLOOR BEDROOM &amp; LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.7 OF THE NCC</li><li>• WINDOWS – ALL OTHER FIRST FLOOR WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.8 OF THE NCC</li><li>• EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)</li><li>• PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.8.1 OF THE NCC</li><li>• 300 DEEP BULKHEADS &amp; SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)</li></ul>

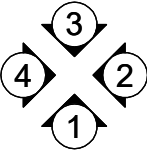


**NOTE**  
ALL WASTE STACKS TO HAVE ACOUSTIC LAGGING

**NOTE:**  
INTERNAL DOOR LEAF HEIGHTS TO FIRST FLOOR TO BE 2340mm(H)

**NOTE:**  
SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 11 FOR DETAILS

**PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD**



## FIRST FLOOR PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

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Riveria  
R/H Garage  
  
**LUXE**

CLIENT:  
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**Mrs. MAKSOOR**  
  
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**ROSELANDS, 2196**

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RATIO @ A3: 1:100	CHECKED: AL	
SHEET: <b>4</b>	JOB No: <b>29917359</b>	<b>NSW</b>

DENOTES RENDER FINISH

NOTE:  
PROVIDE A FLAT BRICK SILL WITH A 5° MIN. FALL  
TO ALL WINDOWS TO ELEVATION 1 (ONLY)

NOTE:  
FOR ROOF PITCHES 20° OR LOWER -  
ROOF TILE SELECTION WILL BE  
IMPACTED.

DENOTES WINDOWS WITH  
DOUBLE GLAZED LOW-E  
GLAZING

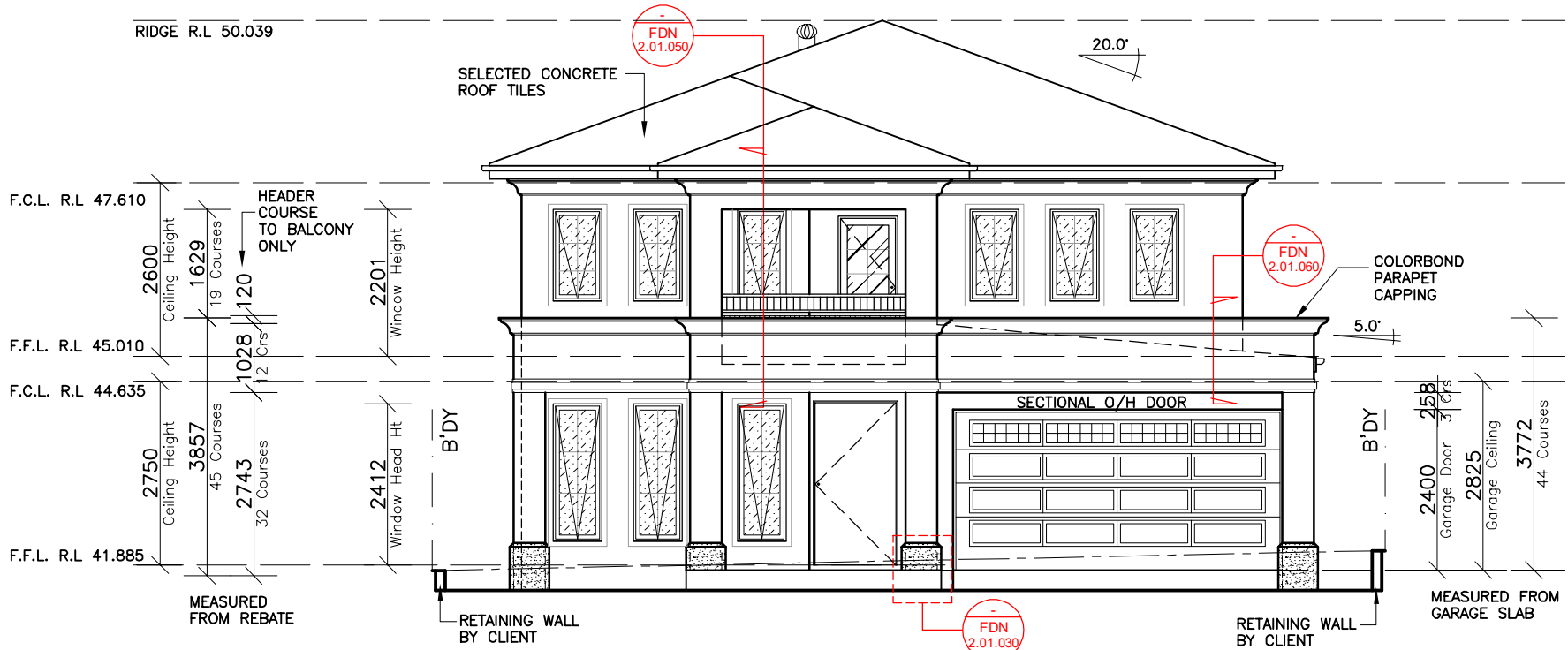
DENOTES WINDOWS WITH  
SINGLE GLAZED LOW-E  
GLAZING

HEBEL FLOORING  
CONSTRUCTION  
(EXCLUDES WET AREAS)

PROVIDE T2 FRAMING  
TO DWELLING IN LIEU  
OF STANDARD

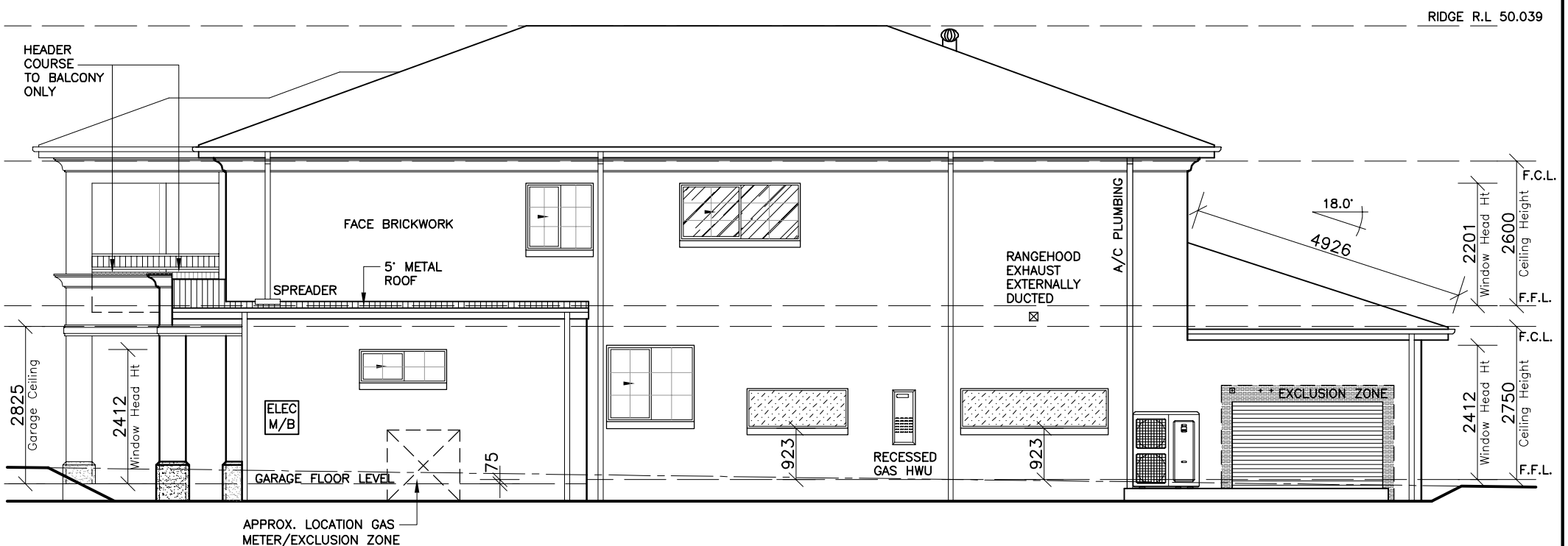


NOTES:  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
CDN 21.010-21.080

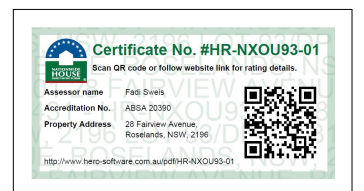


ELEVATION 1  
-SOUTH WEST-

REFER TO FOR FDN 2.01.010  
MOULDING DETAILS



ELEVATION 2  
-SOUTH EAST-



CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

ClarendonHomes

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Riveria  
R/H Garage  
  
LUXE

CLIENT:  
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SITE ADDRESS:  
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ROSELANDS, 2196

DA DRAWINGS

DRAWN: MTK	DATE: 10.12.24	Rev: I
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 5	JOB No: 29917359	NSW



DENOTES RENDER FINISH

NOTE:  
FOR ROOF PITCHES 20° OR LOWER -  
ROOF TILE SELECTION WILL BE  
IMPACTED.

DENOTES WINDOWS WITH  
DOUBLE GLAZED LOW-E  
GLAZING

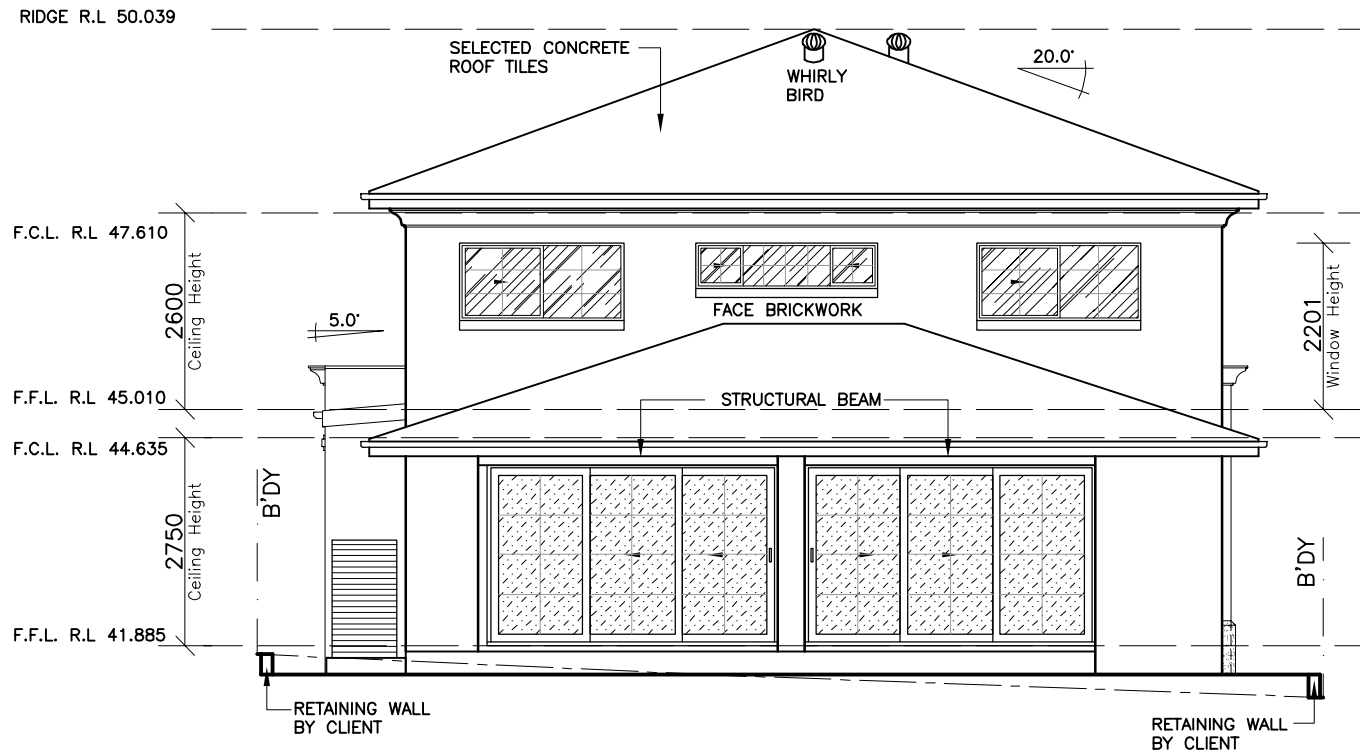
DENOTES WINDOWS WITH  
SINGLE GLAZED LOW-E  
GLAZING

HEBEL FLOORING  
CONSTRUCTION  
(EXCLUDES WET AREAS)

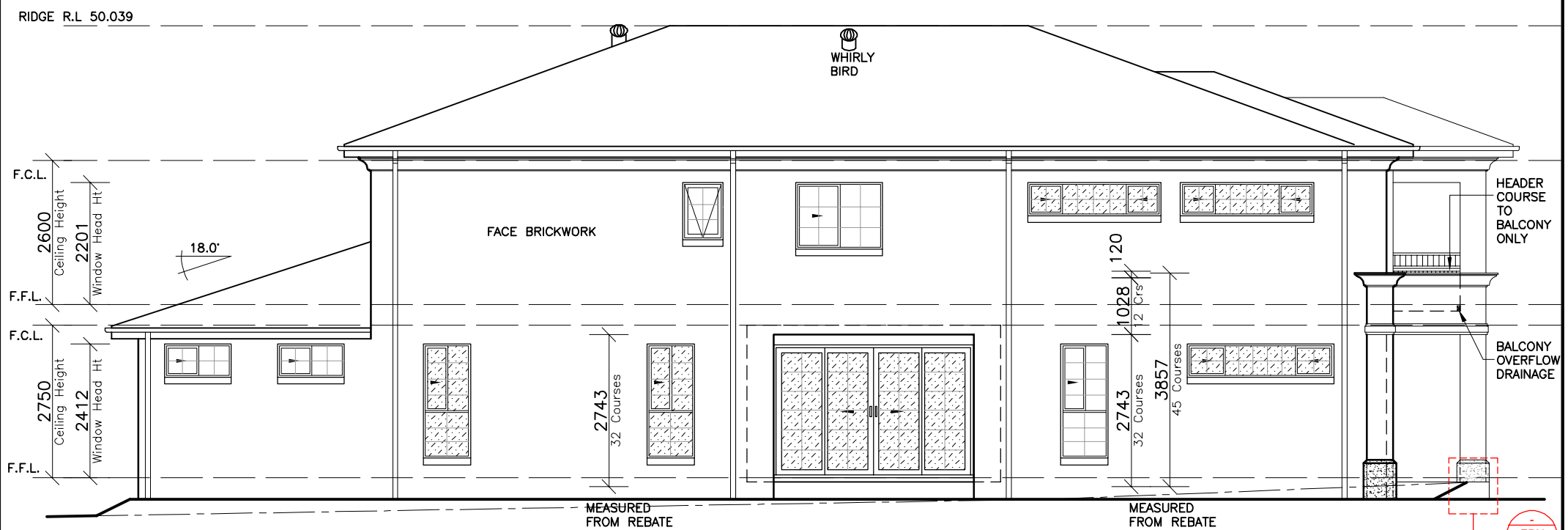
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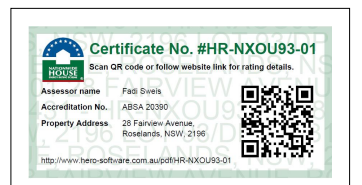
NOTES:  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
**CDN 21.010-21.080**



ELEVATION 3  
-NORTH EAST-



ELEVATION 4  
-NORTH WEST-



CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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# ALL DIMENSIONS TO STRUCTURAL  
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PREFERENCE TO SCALING.

PRODUCT:  
**STAMFORD 45**  
Riveria  
R/H Garage  
  
**LUXE**

CLIENT:  
**Mr. MAKSOOR**  
**Mrs. MAKSOOR**  
  
SITE ADDRESS:  
**Lot 93 No. 28**  
**Fairview Avenue**  
**ROSELANDS, 2196**

DA DRAWINGS

DRAWN: MTK	DATE: 10.12.24	Rev: <b>I</b>
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: <b>6</b>	JOB No: <b>29917359</b>	<b>NSW</b>

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

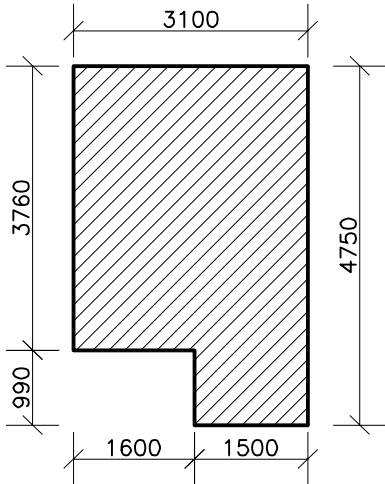
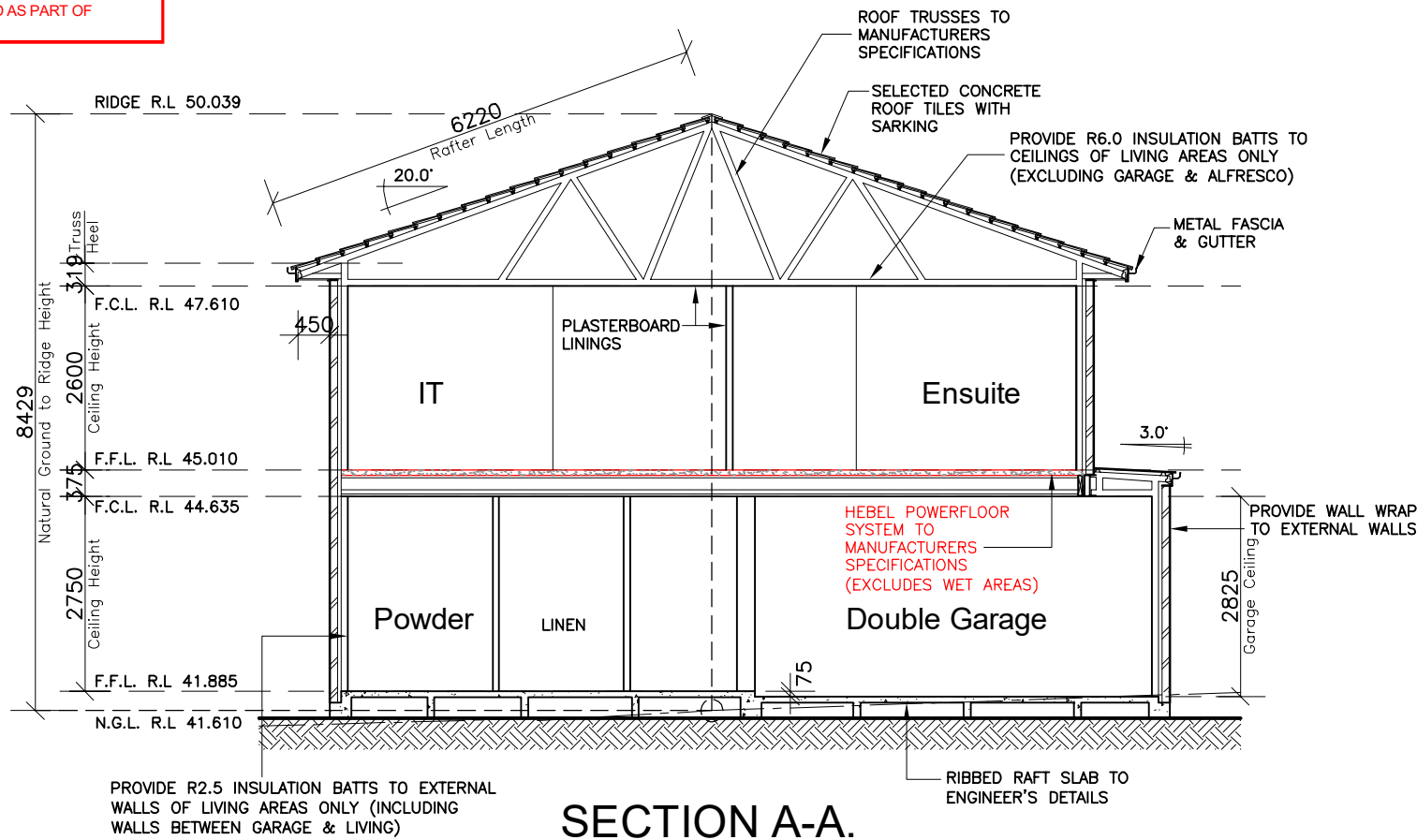


NOTE:  
INTERNAL DOOR LEAF HEIGHTS TO GROUND & FIRST FLOOR TO BE 2340mm(H)

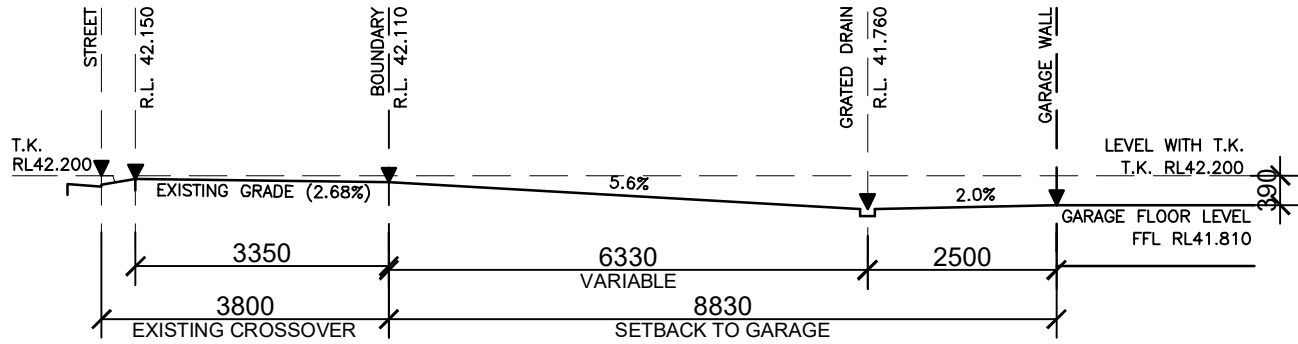
PROVIDE R6.0 INSULATION BATTS TO CEILING JOISTS BETWEEN GROUND FLOOR & FIRST FLOOR

PROVIDE R6.0 INSULATION BATTS TO CEILING JOISTS BETWEEN PORCH & FIRST FLOOR (R3.5 INSULATION INSTALLED AS PART OF CONSTRUCTION METHOD)

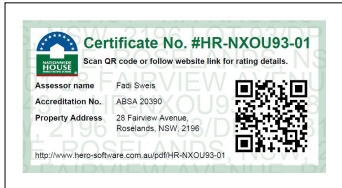
HEBEL FLOORING CONSTRUCTION (EXCLUDES WET AREAS)



STAIR CUTOUT  
SCALE 1:100



DRIVEWAY GRADIENT PROFILE  
SCALE-1:100



CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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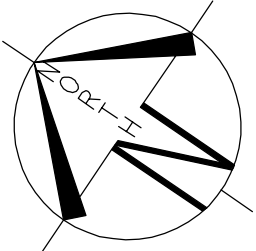
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RATIO @ A3: 1:100	CHECKED: AL	
SHEET: <b>7</b>	JOB No: <b>29917359</b>	<b>NSW</b>

NORTH



LOT 85

LOT 86

LOT 89

LOT 94

LOT 92

LOT 93

D.P: 12431

L.G.A: CANTERBURY-BANKSTOWN

SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
CANTERBURY DCP 2012

LOT 93

581.20m<sup>2</sup>

APPROXIMATE LOCATION  
OF SEDIMENT FENCE

FILL

PROPOSED  
RESIDENCE

FFL R.L. 41.885

FGL R.L. 41.500

CUT

GARAGE  
STEPDOWN  
75mm  
FFL R.L. 41.810

SEDIMENT FENCE AROUND  
WASTE MATERIALS

PORTABLE TOILET

ALL WEATHER  
ACCESS POSITION

ZONE OF OVERHEAD LINES

BM 93  
RL 42.21  
(AHD)

**NOTE:**  
TEMPORARY SECURITY FENCING TO  
THE PERIMETER OF THE BOUNDARY  
WHERE REQUIRED TO PREVENT  
PUBLIC ACCESS ONTO THE SITE

**NOTE:**  
GROUND LINES ARE APPROXIMATE.  
EXTENT OF CUT AND FILL BATTERS  
WILL BE DETERMINED ON SITE.  
SEDIMENT BARRIERS ARE  
CUSTOMISED TO SITE CONDITIONS

## CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

### SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.

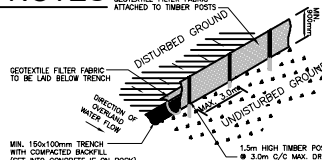
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE  
NOT TO SCALE

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**ClarendonHomes**

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ABN 18 003 892 706

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21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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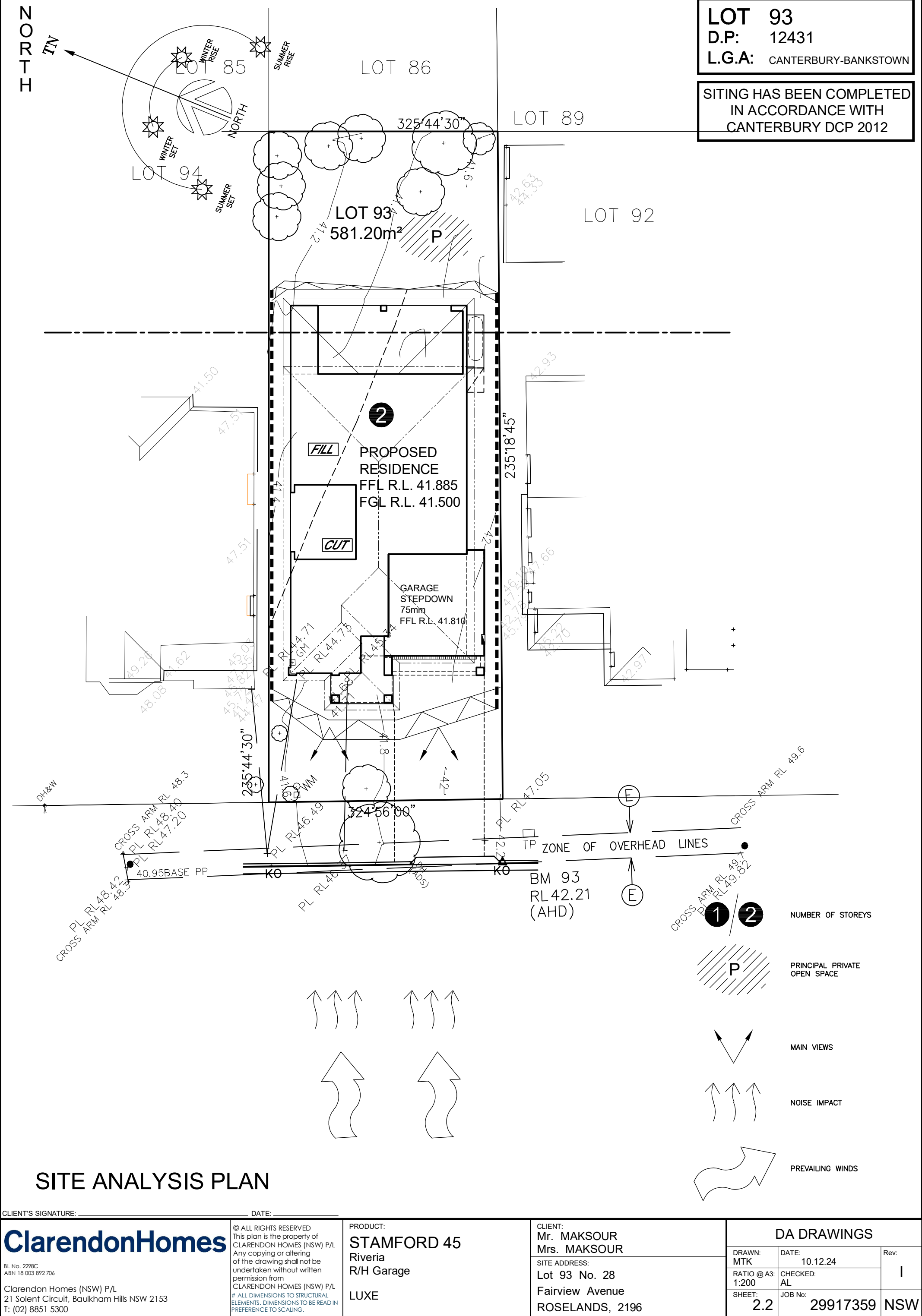
PRODUCT:  
**STAMFORD 45**  
Riveria  
R/H Garage  
  
**LUXE**

CLIENT:  
**Mr. MAKSOOR**  
**Mrs. MAKSOOR**  
  
SITE ADDRESS:  
**Lot 93 No. 28**  
**Fairview Avenue**  
**ROSELANDS, 2196**

DA DRAWINGS

DRAWN: MTK	DATE: 10.12.24	Rev: 1
RATIO @ A3: 1:200	CHECKED: AL	
SHEET: 2.1	JOB No: 29917359	NSW

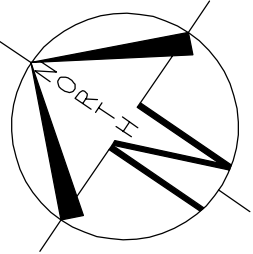




CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

<b>ClarendonHomes</b> <small>BL No. 2298C ABN 18 003 892 706</small> Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	<b>PRODUCT:</b> <b>STAMFORD 45</b> Riveria R/H Garage  <b>LUXE</b>	<b>CLIENT:</b> <b>Mr. MAKSOOR</b> <b>Mrs. MAKSOOR</b>  <b>SITE ADDRESS:</b> <b>Lot 93 No. 28</b> <b>Fairview Avenue</b> <b>ROSELANDS, 2196</b>	<b>DA DRAWINGS</b>		
				<b>DRAWN:</b> MTK	<b>DATE:</b> 10.12.24	<b>Rev:</b> <b>I</b>
				<b>RATIO @ A3:</b> 1:200	<b>CHECKED:</b> AL	
				<b>SHEET:</b> 2.2	<b>JOB No:</b> 29917359	<b>NSW</b>

NORTH



LOT 85

LOT 86

LOT 89

LOT 94

LOT 93

581.20m<sup>2</sup>

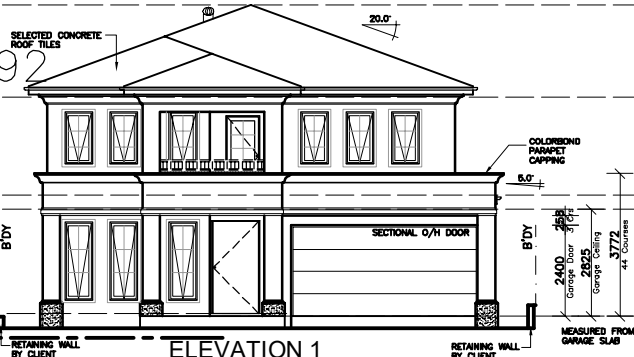
LOT 93

D.P: 12431

L.G.A: CANTERBURY-BANKSTOWN

SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
CANTERBURY DCP 2012

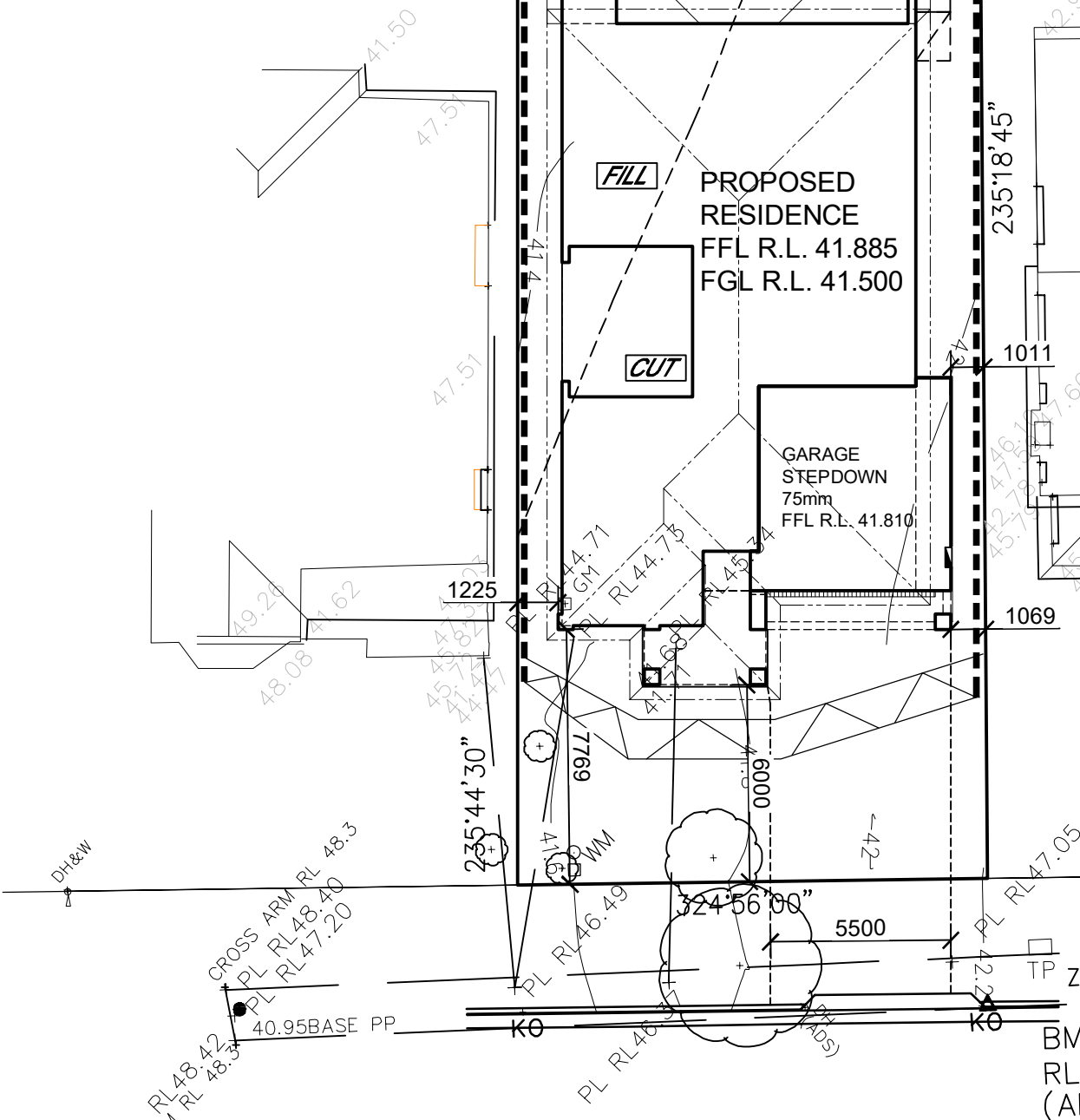
LOT 92



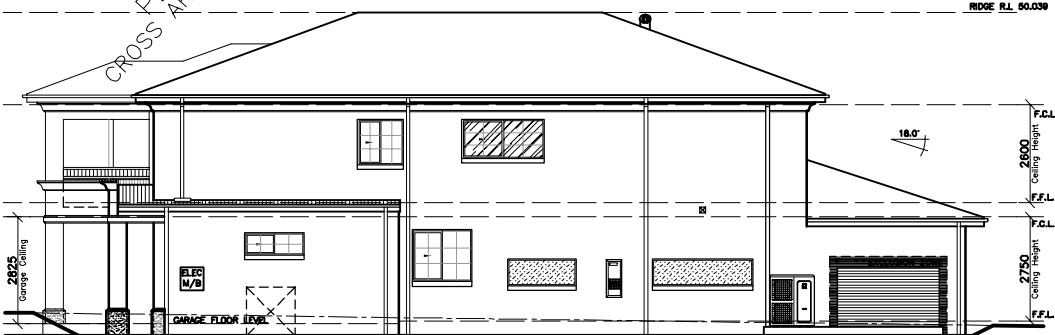
ELEVATION 1  
-SOUTH WEST-



ELEVATION 3  
-NORTH EAST-



BM 93  
RL 42.21  
(AHD)



ELEVATION 2  
-SOUTH EAST-



ELEVATION 4  
-NORTH WEST-

## NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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ABN 18 003 892 706

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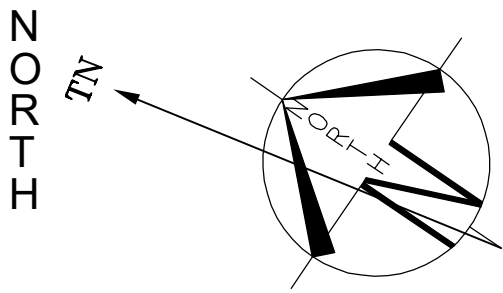
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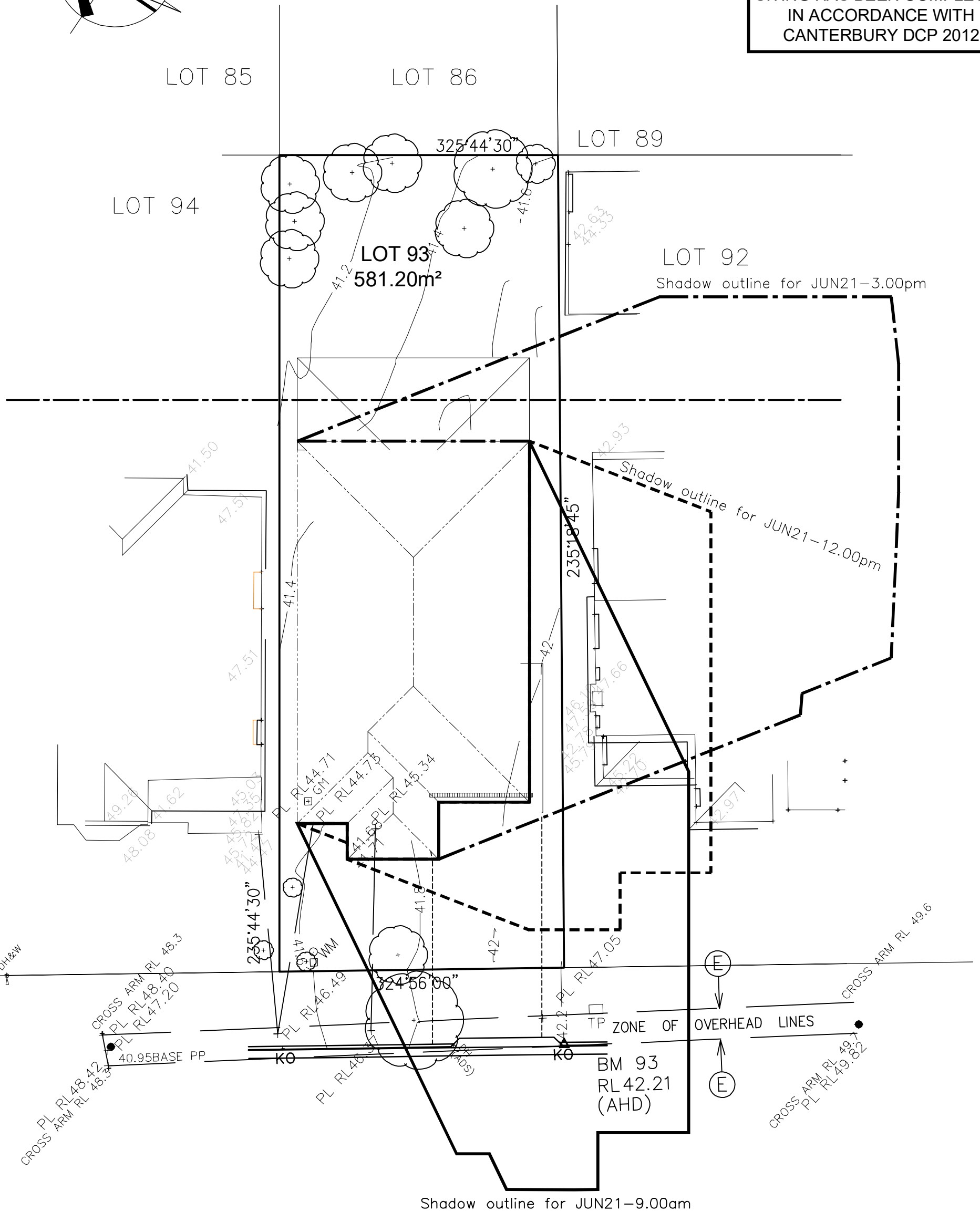
DA DRAWINGS

DRAWN: MTK	DATE: 10.12.24	Rev: 1
RATIO @ A3: 1:200	CHECKED: AL	
SHEET: 2.3	JOB No: 29917359	NSW



**LOT 93**  
**D.P:** 12431  
**L.G.A:** CANTERBURY-BANKSTOWN

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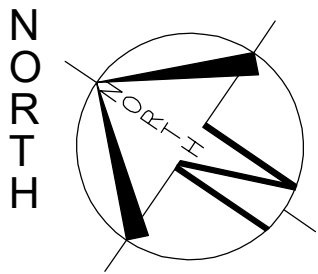


**SHADOW DIAGRAM @ 21st JUNE**

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

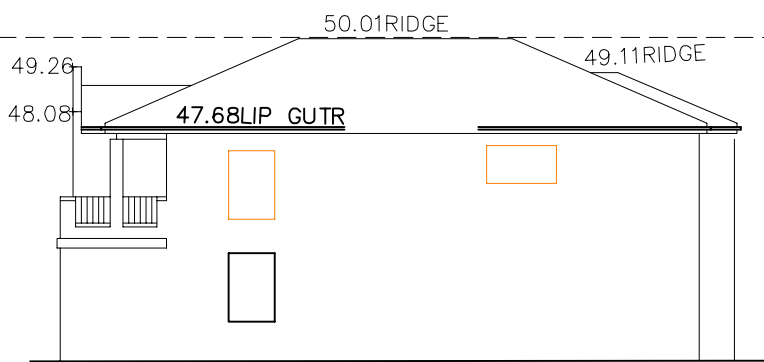
<b>ClarendonHomes</b> <small>BL No. 2298C ABN 18 003 892 706</small> Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: <b>STAMFORD 45</b> Riviera R/H Garage  LUXE	CLIENT: Mr. MAKSOOR Mrs. MAKSOOR  SITE ADDRESS: Lot 93 No. 28 Fairview Avenue ROSELANDS, 2196	DA DRAWINGS		
				DRAWN: MTK	DATE: 10.12.24	Rev: I
				RATIO @ A3: 1:200	CHECKED: AL	
				SHEET: 2.4	JOB No: 29917359	NSW



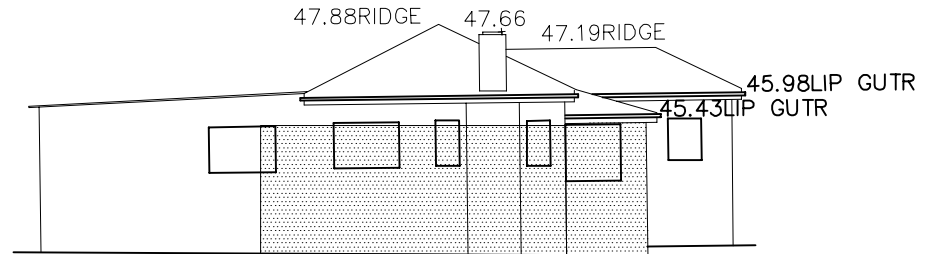


**LOT 93**  
**D.P:** 12431  
**L.G.A:** CANTERBURY-BANKSTOWN

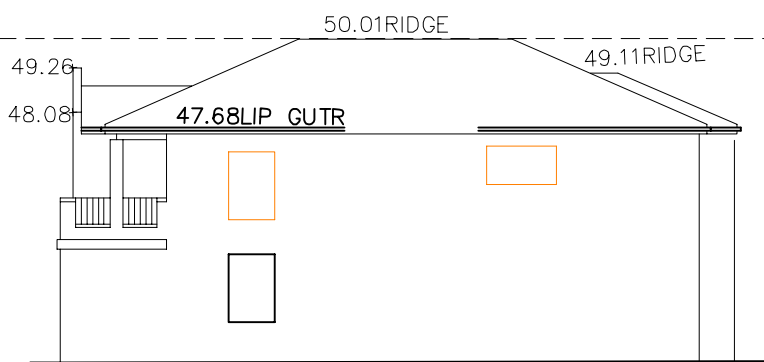
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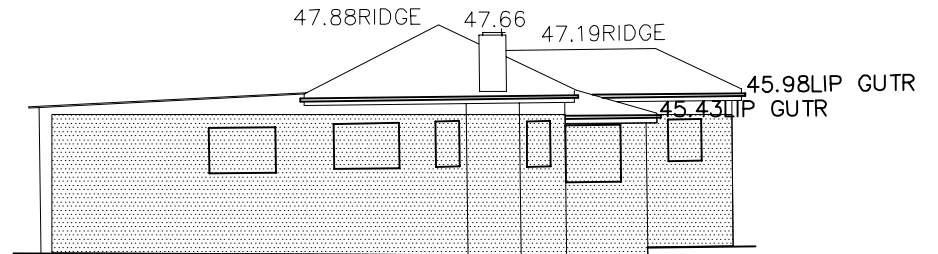
PROPOSED  
RIDGE R.L 50.039



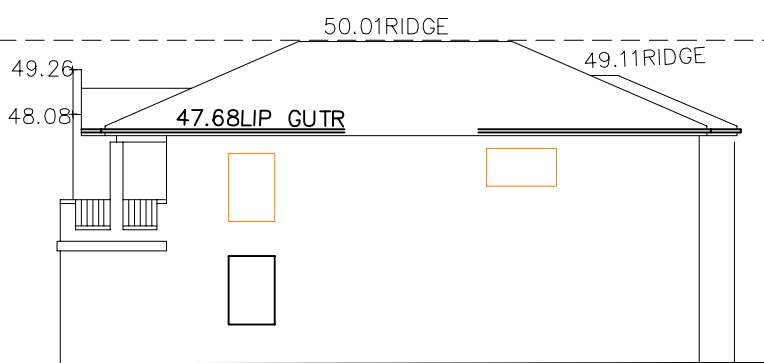
## Shadow outline for JUN21-9.00am



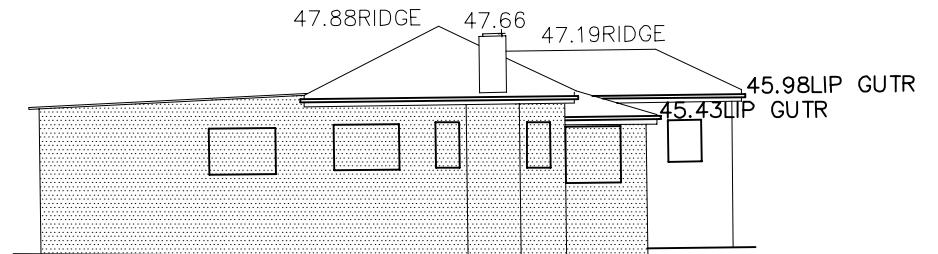
PROPOSED  
RIDGE R.L 50.039



## Shadow outline for JUN21-12.00pm



PROPOSED  
RIDGE R.L 50.039



## Shadow outline for JUN21-3.00pm

### ELEVATIONAL SHADOWS @ 21st JUNE

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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SHEET: 2.5	JOB No: 29917359	NSW

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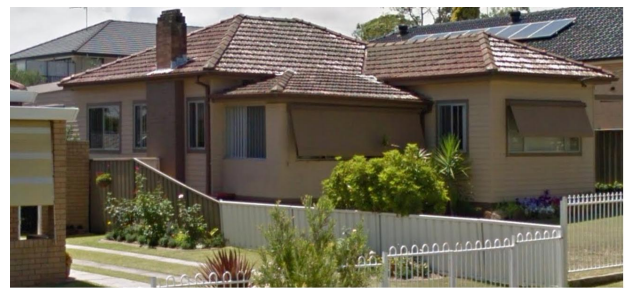
VIEW FROM  
FAIRVIEW AVENUE



No. 26



No. 28



No. 30

STREETSCAPE ELEVATION

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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				1:200	AL	
				SHEET:	JOB No:	
				2.6	29917359	NSW